



HILLINGDON  
LONDON



# Major Applications Planning Committee

## To Councillors on the Committee

Eddie Lavery (Chairman)  
John Hensley (Vice-Chairman)  
Janet Duncan (Labour Lead)  
David Allam  
Dominic Gilham  
Michael Markham  
John Morgan  
Brian Stead

**Date:** WEDNESDAY, 7 AUGUST  
2013

**Time:** 6.00 PM

**Venue:** COMMITTEE ROOM 5 -  
CIVIC CENTRE, HIGH  
STREET, UXBRIDGE UB8  
1UW

**Meeting  
Details:** Members of the Public and  
Press are welcome to attend  
this meeting

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reports can be made available  
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further information.**

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Contact: Nadia Williams  
Tel: 01895 277655  
Fax: 01896 277373  
[nwilliams@hillingdon.gov.uk](mailto:nwilliams@hillingdon.gov.uk)

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Lloyd White  
Head of Democratic Services  
London Borough of Hillingdon,  
3E/05, Civic Centre, High Street, Uxbridge, UB8 1UW  
[www.hillingdon.gov.uk](http://www.hillingdon.gov.uk)



INVESTOR IN PEOPLE

# Useful information for residents and visitors

## Travel and parking

Bus routes 427, U1, U3, U4 and U7 all stop at the Civic Centre. Uxbridge underground station, with the Piccadilly and Metropolitan lines, is a short walk away. Limited parking is available at the Civic Centre. For details on availability and how to book a parking space, please contact Democratic Services

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## A useful guide for those attending Planning Committee meetings

### Security and Safety information

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### Petitions and Councillors

**Petitions** - Those who have organised a petition of 20 or more borough residents can speak at a Planning Committee in support of or against an application. Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

**Ward Councillors** - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

**Committee Members** - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

### How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application

Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;
3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant

followed by any Ward Councillors;

4. The Committee may ask questions of the petition organiser or of the agent/applicant;
5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

### About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal. There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

## Agenda

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### CHAIRMAN'S ANNOUNCEMENTS

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 To sign and receive the minutes of the meetings held on 13 June and 25 June 2013 1 - 16
- 4 Matters that have been notified in advance or urgent
- 5 To confirm that the items marked in Part 1 will be considered in public and those items marked in Part 2 will be heard in private

### Reports - Part 1 - Members, Public and Press

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#### Major Applications without Petitions

	Address	Ward	Description & Recommendation	Page
6	The Arena, Stockley Park, Stockley Road West Drayton  37800/APP/2013/161	Botwell	Development of Stockley Arena to provide additional office accommodation, including a single-storey extension to the central rotunda and to the southern wing to create a new second floor, together with a two-storey extension above the existing refuse storage and deliveries area to the north.  <b>Recommendation: Delegated Authority to approve subject to the Environment Agency withdrawing their objection and Stage II referral to the Greater London Authority.</b>	17 – 46  121 142

7	Knights of Hillingdon Uxbridge Road Hillingdon  15407/APP/2013/1170	Hillingdon East	Retrospective planning application to vary condition 4 (that the development hereby permitted shall be carried out in accordance with the following approved plans) to outline planning permission (Ref 15407/APP/2009/1838) granted on appeal on 17 June 2010 for the "erection of new health centre and 12 residential units with ancillary car parking and landscaped amenity space" to seek and retain the building as built including divergences from the approved scheme in respect to the roof profile that serves the lift shaft on the rear elevation of the building, the disabled car parking provision and the level access provided to the building entrance involving the introduction of a 'bridge structure' over a void adjacent to the rear elevation.  <b>Recommendation: Refusal</b>	47 – 62  143 -154
8	Former RAF Uxbridge Hillingdon Road Uxbridge  585/APP/2013/979	Uxbridge North	Reserved matters (appearance, layout, scale and landscaping) in compliance with conditions 2 and 3 for Phase 1, Seventh Application (Eastern Side of District Park) of planning permission ref: 585/APP/2009/2752 dated 18/01/2012 for the proposed mixed-use redevelopment of St Andrews Park (Former RAF Uxbridge site).  <b>Recommendation: Approval</b>	63 – 74  154 -162
9	Norwich Union House 1 - 3 Bakers Road Uxbridge  8218/APP/2011/1853	Uxbridge North	Redevelopment of Norwich Union House to erect a 9 storey building comprising retail floorspace at ground floor level and 8 storeys of residential units (37 units) with associated gym, access and parking arrangements.  <b>Recommendation: S106 Agreement</b>	75 – 80

10	Padcroft Works Tavistock Road West Drayton  45200/APP/2012/3082	Yiewsley	Comprehensive redevelopment of site to provide three buildings of part 7 storeys and part 5 storeys comprising 208 residential units, 190 sq.m (approx) of Use Class B1 floorspace with associated public and private amenity space, hard and soft landscaping, lower ground floor parking for vehicles and bicycles, and alterations to 9 High Street to form new pedestrian route (involving demolition of all existing buildings other than no.9 High Street).  <b>Recommendation: Delegated Authority to approve subject to a legal agreement and Stage II referral to the Greater London Authority.</b>	81 – 120  163 -182
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11 Any Items transferred from Part 1

12 Any Other Business in Part 2

**Minutes**

**MAJOR APPLICATIONS PLANNING COMMITTEE**

**13 June 2013**



**Meeting held at Committee Room 5 - Civic Centre,  
 High Street, Uxbridge UB8 1UW**

	<p><b>Committee Members Present:</b>                  Councillors David Allam                  Judith Cooper (In place of Michael Markham)                  Janet Duncan (Labour Lead)                  Dominic Gilham                  John Hensley (Vice-Chairman)                  Eddie Lavery (Chairman)                  John Morgan                  Brian Stead</p> <p><b>LBH Officers Present:</b>                  Matt Duigan, Planning Services Manager, Meg Hirani, Planning Team Manager, Nicole Cameron, Legal Services, Gill Oswell, Democratic Services.</p>	
2.	<p><b>APOLOGIES FOR ABSENCE</b> (<i>Agenda Item 1</i>)</p> <p>Apologies had been received from Councillor Michael Markham with Councillor Judith Cooper substituting.</p>	
3.	<p><b>TO CONFIRM THAT THE ITEMS MARKED IN PART 1 WILL BE CONSIDERED INPUBLIC AND THOSE ITEMS MARKED IN PART 2 WILL BE HEARD IN PRIVATE</b> (<i>Agenda Item 5</i>)</p> <p>It was confirmed that all business would be heard in public.</p>	
4.	<p><b>STOCKLEY PARK GOLF COURSE, STOCKLEY ROAD, WEST DRAYTON 37850/APP/2012/2732</b> (<i>Agenda Item 6</i>)</p>	<b>Action by</b>
	<p><b>Erection of lightweight open fronted driving range enclosure.</b></p> <p>In answer to an issue raised in relation to the importation of soil, officers advised that the landscaping was to take place in already landscaped areas and therefore a condition was not required. Change of levels or importation of soil would automatically require planning permission.</p> <p>The recommendation was moved, seconded and on being put to the vote was agreed.</p> <p><b>Resolved – That the application be approved subject to the conditions and informatives set out in the officers except condition 9, which was deleted as it was no longer required.</b></p>	<p>Matt Duigan                  Meg Hirani</p>

5.	<p><b>8 - 12 LEES PARADE, UXBRIDGE 1803/APP/2013/733</b> (<i>Agenda Item 7</i>)</p> <p><b>Demolition of warehouse and conversion of and extensions to existing office building to provide a part three, part four storey building containing 14 residential units 3 retail/office spaces (Use Class A1/B1), with associated parking and amenity space.</b></p> <p>The committee asked for amended plans to be provided showing those elements of the proposal that were being required by condition.</p> <p>It was moved, seconded and agreed that the application be deferred to enable amended plans to be provided.</p> <p><b>Resolved - That the application be deferred to enable amended plans showing those elements being required by condition.</b></p>	<p><b>Action by</b></p> <p>Matt Duigan Meg Hirani</p>
6.	<p><b>LAND AT 37 - 45 DUCKS HILL ROAD, NORTHWOOD 59214/APP/2013/852</b> (<i>Agenda Item 8</i>)</p>	<p><b>Action by</b></p>
	<p><b>Variation of Condition 4 (Approved Drawings) to allow the enlargement of the single storey rear additions, changes to disabled facilities and fenestration on Plots 6 and 7 of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.</b></p> <p>Officers introduced the report informing members of the variations that were being proposed to the already approved scheme.</p> <p>In answer to an issue raised regarding the disabled facilities, officers advised that the change was to provide a through ceiling lift and would not impact on the other disabled facilities being provided.</p> <p>The recommendation was moved, seconded and on being put to the vote was agreed.</p> <p><b>Resolved –</b></p> <p><b>That subject to no additional responses being received that raise relevant material planning considerations that have not already been considered in this report, delegated powers be given to the Head of Planning, Sport and Green Spaces to grant planning permission, subject to the following:</b></p> <p><b>(i) A financial contribution of £117,713 for education facilities and places</b>  <b>(ii) A financial contribution of £11,678.51 for healthcare facilities and places.</b>  <b>(iii) A financial contribution of £20,000 towards community facilities/the public realm.</b>  <b>(iv) A financial contribution of £1,239.70 towards libraries.</b>  <b>(v) A financial contribution towards training initiatives equal to £2,500 for every £1 million build cost.</b></p>	<p>Matt Duigan Meg Hirani</p>



	<p>(vi) The applicants pay a sum to the Council of 5% of the value of contributions for specified requirements to project manage and oversee implementation of elements of the completed planning (and/or highways) agreement(s).</p> <p>(vii) The applicant shall agree to the full and complete costs to undertake the necessary works, as identified by the Council, for off site highway works, including:</p> <p style="padding-left: 40px;">a) Junction improvements to the site access with Ducks Hill Road</p> <p>(viii) Agreement that if the applicant implements this planning permission, they will not implement any other planning permissions for this site.</p> <p>2. That in respect of the application for planning permission, the applicant meets the Council's reasonable costs in the preparation of the S106 Agreement and any abortive work as a result of the agreement not being completed.</p> <p>3. That if any of the heads of terms set out above have not been agreed and the S106 legal agreement has not been finalised by the 08th July 2013, or any other period deemed appropriate by the Head of Planning, Sport and Green Spaces then delegated authority be granted to the Head of Planning, Sport and Green Spaces to refuse the application for the following reason:</p> <p>The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development (in respect of education, health, community facilities and libraries, construction and employment training facilities, monitoring and highway junction works). The proposal therefore conflicts with Policy R17 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).</p> <p>4. That subject to the above, the application be deferred for determination by the Head of Planning, Sport and Green Spaces under delegated powers, subject to the completion of the legal agreement under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers with the applicant.</p> <p>5. That if the application is approved, the conditions and informatives set out in the officer's report be attached.</p>	
7.	<p><b>LAND AT 37 - 45 DUCKS HILL ROAD, NORTHWOOD</b>  <b>59214/APP/2013/849</b> (<i>Agenda Item 9</i>)</p>	<p><b>Action by</b></p>
	<p>Variation of Condition 4 (Approved Drawings) to allow the erection of a single storey rear addition, changes to disabled facilities and replacement of ground floor window on south elevation with door on Plot 10 of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.</p>	<p>Matt Duigan Meg Hirani</p>

Officers introduced the report informing members of the variations that were being proposed to the already approved scheme.

It was moved, seconded and on being put to the vote the recommendation was agreed.

**Resolved –**

**That delegated powers be given to the Head of Planning, Sport and Green Spaces to grant planning permission, subject to the following:**

**(i) A financial contribution of £117,713 for education facilities and places**

**(ii) A financial contribution of £11,678.51 for healthcare facilities and places.**

**(iii) A financial contribution of £20,000 towards community facilities/the public realm.**

**(iv) A financial contribution of £1,239.70 towards libraries.**

**(v) A financial contribution towards training initiatives equal to £2,500 for every £1 million build cost.**

**(vi) The applicants pay a sum to the Council of 5% of the value of contributions for specified requirements to project manage and oversee implementation of elements**

**of the completed planning (and/or highways) agreement(s).**

**(vii) The applicant shall agree to the full and complete costs to undertake the necessary works, as identified by the Council, for off site highway works, including:**

**a) Junction improvements to the site access with Ducks Hill Road.**

**(viii) Agreement that if the applicant implements this planning permission, they will not implement any other planning permissions for this site.**

**2. That in respect of the application for planning permission, the applicant meets the Council's reasonable costs in the preparation of the S106 Agreement and any abortive work as a result of the agreement not being completed.**

**3. That if any of the heads of terms set out above have not been agreed and the S106 legal agreement has not been finalised by the 08th July 2013, or any other period deemed appropriate by the Head of Planning, Sport and Green Spaces then delegated authority be granted to the Head of Planning, Sport and Green Spaces to refuse the application for the following reason:**

**The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development (in respect of education, health, community facilities and libraries, construction and employment training facilities, monitoring and highway junction works). The proposal therefore conflicts with Policy R17 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).**

	<p><b>4. That subject to the above, the application be deferred for determination by the Head of Planning, Sport and Green Spaces under delegated powers, subject to the completion of the legal agreement under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers with the applicant.</b></p> <p><b>5. That if the application is approved, that the conditions and informatives set out in the officers and addendum sheet circulated report be attached.</b></p>	
8.	<p><b>LAND AT 37 - 45 DUCKS HILL ROAD, NORTHWOOD 59214/APP/2013/848 (Agenda Item 10)</b></p> <p><b>Variation of Condition 4 (Approved Drawings) to allow study/games room to be provided for Plot 8 within the roofspace of the detached triple garage serving Plots 6, 7 and 8, involving replacement of a hip end with a gable roof, installation of two rear dormers and an external staircase of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.</b></p> <p>Members raised concerns in regard to the relationship between plots 7 &amp; 8 in relation to the raised roof to the garage that was being proposed. The committee felt that the visual impact and the breach of the 15 metre rule was clearly against the Council's policy.</p> <p>Officers advised that the rooms that would be affected was a dining room and bedroom. The committee were also informed that if a dormer was required at a later date on the front of the building a further application would be required, and was covered by Condition 7.</p> <p>It was moved that the application should be refused on the grounds of visual impact and the distances breached the 15 metre rule. On being put to the vote refusal was agreed.</p> <p><b>Resolved – That the application be refused for the following reasons:-</b></p> <p><b>The proposal, by reason of its position, size, scale, bulk and design would result in a visually obtrusive development that would be detrimental to the character and appearance of the overall development and to the amenities of the occupier of Plot 7 by reason of visual intrusion, over domination and loss of outlook. The proposal is thus contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies BE13, BE19 and BE21 of the Hillingdon Local Plan: Part Two - UDP Saved Policies (November 2012).</b></p>	<p><b>Action by</b></p> <p>Matt Duigan Meg Hirani</p>

9.	<p><b>LAND AT 37 - 45 DUCKS HILL ROAD, NORTHWOOD</b>  <b>59214/APP/2013/847</b> (<i>Agenda Item 11</i>)</p>	<p><b>Action by</b></p>
	<p><b>Variation of Condition 4 (Approved Drawings) to allow the enlargement of the single storey rear additions, changes to disabled facilities and fenestration on Plots 4 and 5 of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.</b></p> <p>Officers introduced the report informing the committee of the variations being requested to the previously approved application.</p> <p>The recommendation was moved, seconded and on being put to the vote was agreed.</p> <p><b>Resolved –</b></p> <p><b>That subject to no additional responses being received that raise relevant material planning considerations that have not already been considered in this report, delegated powers be given to the Head of Planning, Sport and Green Spaces to grant planning permission, subject to the following:</b></p> <p><b>(i) A financial contribution of £117,713 for education facilities and places (ii) A financial contribution of £11,678.51 for healthcare facilities and places.</b></p> <p><b>(iii) A financial contribution of £20,000 towards community facilities/the public realm.</b></p> <p><b>(iv) A financial contribution of £1,239.70 towards libraries.</b></p> <p><b>(v) A financial contribution towards training initiatives equal to £2,500 for every £1 million build cost.</b></p> <p><b>(vi) The applicants pay a sum to the Council of 5% of the value of contributions for specified requirements to project manage and oversee implementation of elements of the completed planning (and/or highways) agreement(s).</b></p> <p><b>(vii) The applicant shall agree to the full and complete costs to undertake the necessary works, as identified by the Council, for off site highway works, including:</b></p> <p><b>a) Junction improvements to the site access with Ducks Hill Road</b></p> <p><b>(viii) Agreement that if the applicant implements this planning permission, they will not implement any other planning permissions for this site.</b></p> <p><b>2. That in respect of the application for planning permission, the applicant meets the Council's reasonable costs in the preparation of the S106 Agreement and any abortive work as a result of the agreement not being completed.</b></p>	<p>Matt Duigan Meg Hirani</p>

	<p><b>3. That if any of the heads of terms set out above have not been agreed and the S106 legal agreement has not been finalised by the 08th July 2013, or any other period deemed appropriate by the Head of Planning, Sport and Green Spaces then delegated authority be granted to the Head of Planning, Sport and Green Spaces to refuse the application for the following reason:</b></p> <p><b>The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development (in respect of education, health, community facilities and libraries, construction and employment training facilities, monitoring and highway junction works). The proposal therefore conflicts with Policy R17 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).</b></p> <p><b>4. That subject to the above, the application be deferred for determination by the Head of Planning, Sport and Green Spaces under delegated powers, subject to the completion of the legal agreement under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers with the applicant.</b></p> <p><b>5. That if the application is approved, the conditions and informatives set out in the officer's report be attached.</b></p>	
10.	<p><b>FORMER REINDEER PUBLIC HOUSE, MAXWELL ROAD, NORTHWOOD 18958/APP/2013/694 (Agenda Item 12)</b></p>	<p><b>Action by</b></p>
	<p><b>Minor Material Amendment application, seeking modifications to balconies of flats 2 &amp; 6, amendments to the internal layouts of flats 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 and 12; amendments to roof and introduction of roof terraces to flats 11 and 12; increase in depth of northern front bay, provision of doors to front gardens for flats 4 and 5, use of front bays as terraces for flats 8 and 9; and reconfiguration of windows on the south west (courtyard) elevation, together with amendments to Parking Control Methodology. (S73 Application for amendments to approved plans under condition 4 and variation of condition 7 of planning permission 18958/APP/2011/873 dated 13/07/2011 (residential development)).</b></p> <p>The committee asked for an informative to be added to highlight that as part of condition 2 obscure screening would be required.</p> <p>The recommendation for approval with the additional informative was moved, seconded and on being put to the vote was agreed.</p> <p><b>Resolved –</b></p> <p><b>That delegated powers be given to the Head of Planning, Sport and Green Spaces to grant planning permission, subject to the following:</b></p>	<p>Matt Duigan Meg Hirani</p>

**1. That the Council enter into a legal agreement with the applicants under Section 106 of the Town and Country Planning Act 1990 (as amended) and/or S278 of the Highways Act (as amended) or other appropriate legislation to secure:**

**(i). Off Site Highways Works**

**ii). Education: A financial contribution for nursery and primary school places in the sum of £28,287.**

**(iii). Health: The Primary Care Trust have sought a contribution towards local primary health care facilities in the sum of £4,554.40.**

**(iv). Community facilities: A contribution in the sum of £10,000 towards expansion of local community facilities has been agreed.**

**(v). Libraries: A contribution in the sum of £483 towards library books has been agreed.**

**(vi). Open space: a contribution in the sum of £28,000 has been agreed towards local open space and recreation improvements (this is in line with the previous application).**

**(vii). Construction Training: A contribution of £ 5,000 towards the cost of providing construction skills training within the Borough has been agreed.**

**(viii). Project Management and Monitoring: A contribution towards project management and monitoring has been agreed, equal to 5% of the total cash contributions secured from this proposal.**

**2. That the applicant meets the Council's reasonable costs in the preparation of the Legal Agreement and any abortive work as a result of the agreement not being completed.**

**3. If the Legal Agreement(s) has not been finalised before 11/07/13, delegated authority be given to the Head of Planning, Sport and Green Spaces to refuse permission for the following reason:**

**The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development, including the provision of off-site highways works and contributions for education, health, community facilities, libraries, open space provision and construction training. The scheme therefore conflicts with Policies AM2, AM7 and R17 of the Hillingdon Unitary Development Plan Saved Polices (September 2007) and the Hillingdon Planning Obligations Supplementary Document (July 2008).**

**4. That officers be authorised to negotiate and agree the detailed terms of the proposed agreement.**

**5. That on completion of the S106 Agreement, the application be deferred for determination by the Head of Planning, Sport and Green Spaces under delegated powers, subject to no material objections being received to the public consultation.**

	<p><b>6. That if the application is approved, the conditions and informatives set out in the officer's report and added by the committee be attached and an additional informative highlighting that condition 2 required that obscure screening would be required.</b></p>	
11.	<p><b>HERMITAGE SCHOOL NURSERY &amp; LANCASTER CENTRE SITE, LANCASTER ROAD, UXBRIDGE 68164/APP/2013/758 (Agenda Item 13)</b></p>	<p><b>Action by</b></p>
	<p><b>Application to vary condition 2 (to allow for amendments to the stair cores on the rear elevation) of planning permission ref:68164/APP/2011/2711 dated 28/11/2012 for Alterations and conversion of the existing Lancaster Centre building into 7 self-contained flats. Demolition of the existing Hermitage Nursery Building and construction of a two storey (with accommodation in roof) block of 12 flats with associated car parking, soft and hard landscaping (19 residential flats in total).</b></p> <p>In answer to an issue raised in relation to informative 3 &amp; 7, the committee was informed that these needed to be amended. Informative 3 to 'and 18.00' after 08.00 in the second line and Informative 7 to change 'conclude' to 'include'.</p> <p>It was moved and seconded that the recommendation with informative 3 &amp; 7 amended be agreed and on being put to the vote was agreed.</p> <p><b>Resolved –</b></p> <p><b>1. That the Council enters into an agreement with the applicant under Section 106 of the Town and Country Planning Act 1990 (as amended) and/or Section 278 of the Highways Act 1980 (as amended) and/ or other appropriate legislation to secure:</b></p> <ul style="list-style-type: none"> <li><b>a. Mayoral CIL: a contribution of £25,499</b></li> <li><b>b. Affordable Housing: either 4 x 1bed units on site or a payment in lieu of on site delivery in the sum of £378,000.</b></li> <li><b>c. Education: a contribution in the sum of £37,604.</b></li> <li><b>d. Health: a contribution in the sum of £6,972.44.</b></li> <li><b>e. Libraries Contribution: Libraries: a contribution in the sum of £740.14.</b></li> <li><b>f. Construction Training: a contribution in the sum of £3,062.41.</b></li> <li><b>g. Project Management and Monitoring: a contribution of 5% of the total cash contributions secured from this proposal.</b></li> <li><b>h. Car Parking Permits: No permits shall be issued to future occupiers of the flats.</b></li> <li><b>i. The access road to the development is to be upgraded to adoptable standards and offered to the Council for adoption under S38 of the Highways Act 1980.</b></li> </ul> <p><b>2. That the applicant meets the Council's reasonable costs in the preparation of the Statement and any abortive work as a result of the agreement not being completed.</b></p>	<p>Matt Duigan Meg Hirani</p>

	<p><b>3. That the officers be authorised to negotiate the terms of the proposed statement.</b></p> <p><b>4. That if any of the heads of terms set out above have not been agreed and the S106 legal agreement has not been finalised before 25th June 2013, or any other period deemed appropriate by the Head of Planning, Sport and Green Spaces, then delegated authority be granted to the Head of Planning, Sport and Green Spaces to refuse the application for the following reason:</b></p> <p><b>The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development (in respect of affordable housing, education, health, community facilities and libraries, construction and employment training facilities, monitoring, Highway works and parking permit restrictions). The proposal therefore conflicts with Policy R17 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).</b></p> <p><b>5. That subject to the above, the application be deferred for determination by the Head of Planning, Consumer Protection, Sport and Green Spaces under delegated powers.</b></p> <p><b>6. That if the application is approved, the conditions and informatives set out in the officers report and addendum sheet circulated at the meeting be attached and informatives 3 &amp; 7 being amended.</b></p> <p><b>Amend Informative 3 - by adding 'and 18.00 pm' after '08.00 am'.</b></p> <p><b>Amend Informative 7 – In the second line change 'conclude' to 'include'.</b></p>	
12.	<p><b>RAF UXBRIDGE, HILLINGDON ROAD, UXBRIDGE</b>  <b>585/APP/2013/759</b> (<i>Agenda Item 14</i>)</p> <p><b>Reserved matters (appearance, landscaping, layout and scale) in compliance with conditions 2 and 3 for Infrastructure Phase, comprising detailed design of the new ' Spine Road' of planning permission ref: 585/APP/2009/2752 dated 18/01/2012 for a new mixed used development at St Andrews Park (Former RAF Uxbridge Site).</b></p> <p>This application was withdrawn from the agenda by the Head of Planning.</p>	<p><b>Action by</b></p> <p>Matt Duigan Meg Hirani</p>
13.	<p><b>QUEENS WALK RESOURCE CENTRE</b>      <b>12059/APP/2012/2570</b>  (<i>Agenda Item 15</i>)</p>	<p><b>Action by</b></p>
	<p><b>Refurbishment and re-cladding of existing building including erection of a new entrance lobby and erection of new single storey 400sqm building to provide an educational and well being facility (Use Class D1).</b></p>	<p>Matt Duigan Meg Hirani</p>



	This application was withdrawn from the agenda by the Head of Planning.	
	The meeting, which commenced at 6.00 pm, closed at 6.50 pm.	

These are the minutes of the above meeting. For more information on any of the resolutions please contact Gill Oswell on (01895) 250693. Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

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Minutes

## MAJOR APPLICATIONS PLANNING COMMITTEE

25 June 2013

Meeting held at Committee Room 5 - Civic Centre,  
High Street, Uxbridge UB8 1UW



HILLINGDON  
LONDON

	<p><b>MEMBERS PRESENT:</b> Councillors: Eddie Lavery (Chairman) John Hensley (Vice-Chairman) Janet Duncan (Labour Lead) David Allam Dominic Gilham Michael Markham Brian Stead Carol Melvin</p>
	<p><b>OFFICERS PRESENT:</b> James Rodgers, Head of Planning, Sport and Green Spaces Meghji Hirani, Planning Team Leader Manmohan Ranger, Transport Consultant Tim Brown, Legal Advisor Danielle Watson, Democratic Services Officer</p>
19.	<p><b>APOLOGIES FOR ABSENCE</b> (<i>Agenda Item 1</i>)</p> <p>Apologies for absence were received from Councillor John Morgan, Councillor Carol Melvin attended as substitute.</p>
20.	<p><b>DECLARATIONS OF INTEREST IN MATTERS COMING BEFORE THIS MEETING</b> (<i>Agenda Item 2</i>)</p> <p>None</p>
21.	<p><b>TO CONFIRM THAT THE ITEMS MARKED IN PART 1 WILL BE CONSIDERED IN PUBLIC AND THOSE ITEMS MARKED IN PART 2 WILL BE HEARD IN PRIVATE</b> (<i>Agenda Item 4</i>)</p> <p>It was confirmed that all items would be considered in Part 1 public.</p>
22.	<p><b>QUEENS WALK RESOURCE CENTRE, QUEENS WALK, RUISLIP. HA4 0LR - 12059/APP/2012/2570</b> (<i>Agenda Item 5</i>)</p> <p><b>Refurbishment and re-cladding of existing building including erection of a new entrance lobby and erection of new single storey 400sqm building to provide an educational and well-being facility (Use Class D1), access safety measures, including existing barrier arm, alterations to existing pedestrian gate and canopy (amended plan).</b></p> <p>Officers introduced the report and referred members to the addendum sheet that had been circulated. A petition in objection to the application had been</p>

	<p>received but the petitioners were not in attendance.</p> <p>Members discussed the application and questioned the opening and closing hours of the centre. Members raised concerns regarding traffic and parking in the area and whether this would be exasperated. Members also questioned where the designated pick up and drop off point would be located.</p> <p>Members discussed the observations made by the tree officers who were satisfied that the existing trees within the site would be retained. Sport England had withdrawn their objection to the application.</p> <p>The Committee were satisfied that the conditions would be strengthened to address their concerns.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was agreed.</p> <p><b>Resolved – That the application be approved, subject to the conditions and informatives set out in the officer’s report and addendum sheet circulated at the meeting.</b></p>
23.	<p><b>WILLIAM BYRD PRIMARY SCHOOL, VICTORIA LANE, HARLINGTON - 11327/APP/2013/1209</b> (<i>Agenda Item 6</i>)</p> <p><b>Installation of single storey (temporary) mobile classroom.</b></p> <p>Officers introduced the report and referred members to the addendum sheet that had been circulated.</p> <p>The application was sited within the Green Belt and sought planning permission for a temporary double classroom.</p> <p>Members discussed the Hillingdon Primary Capital Schools Programme and the Council’s legal requirement to meet the educational needs of the Borough. Members were concerned that the application was requesting temporary consent whilst a long term solution was sought.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was agreed.</p> <p>Councillor Janet Duncan requested that her objection to the decision to be minuted.</p> <p><b>Resolved – That the application be approved, subject to the conditions and informatives set out in the officer’s report and addendum sheet circulated at the meeting.</b></p>
24.	<p><b>LAND ADJOINING GURU NANAK SIKH ACADEMY, BEACONSFIELD ROAD, HAYES. UB4 0LT - 4450/APP/2013/1227</b> (<i>Agenda Item 7</i>)</p> <p><b>Provision of three temporary modular classroom/administration units, substation, car/cycle parking, new access arrangements and ancillary development (Amended Plan).</b></p>

	<p>Officers introduced the report and referred members to the addendum sheet that had been circulated.</p> <p>The application was sited within the Green Belt. Sports England raised no objections to the loss of playing field. Members discussed the Hillingdon Primary Capital Schools Programme and the Council's legal requirement to meet the educational needs of the Borough.</p> <p>Members were concerned that the area was already congested during school pick up and drop off times and the proposals would exasperate these problems. Officers informed the Committee that the pick up and drop area would not be reduced.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was agreed.</p> <p><b>Resolved – That the application be approved, subject to the conditions and informatives set out in the officer's report and addendum sheet circulated at the meeting.</b></p>
25.	<p><b>SENATOR COURT, BELMONT ROAD, UXBRIDGE - 68385/APP/2013/902</b> <i>(Agenda Item 8)</i></p> <p>Part demolition, part extension and refurbishment of existing building to provide modern office accommodation (Class B1) totalling 20,267sqm GEA (including car park and plant areas) of which 516sqm GIA floorspace to be used interchangeably for Class A1, A2, A3, B1 uses, and associated works.</p> <p>Officers introduced the report and referred members to the addendum sheet that had been circulated.</p> <p>Members were mindful of the benefits of natural light and questioned whether the Friends Meeting House would be overshadowed. Officers informed the Committee that this was not the case and the conservation officer had stated that the plans were not detrimental.</p> <p>The recommendation for approval was moved, seconded and on being put to the, vote was unanimously agreed.</p> <p><b>Resolved – That the application be approved, subject to the conditions and informatives set out in the officer's report and addendum sheet circulated at the meeting.</b></p>
26.	<p><b>FORMER RAF UXBRIDGE, HILLINGDON ROAD, UXBRIDGE - 585/APP/2013/759</b> <i>(Agenda Item 9)</i></p> <p>Reserved matters (appearance, landscaping, layout and scale) in compliance with conditions 2 and 3 for Infrastructure Phase, comprising detailed design of the new 'Spine Road' of planning permission ref: 585/APP/2009/2752 dated 18/01/2012 for a new mixed used development at St Andrews Park (Former RAF Uxbridge Site).</p> <p>Officers introduced the report and outlined details of the application.</p>

	<p>The recommendation for approval was moved, seconded and on being put to the, vote was unanimously agreed.</p> <p><b>Resolved - That the application be agreed as per the agenda.</b></p>
	<p>The meeting, which commenced at 6.00 pm, closed at 7.15 pm.</p>

These are the minutes of the above meeting. For more information on any of the resolutions please contact Danielle Watson on 01895 277488 . Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

## Report of the Head of Planning, Sport and Green Spaces

**Address** THE ARENA, STOCKLEY PARK STOCKLEY ROAD WEST DRAYTON

**Development:** Development of Stockley Arena to provide additional office accommodation, including a single-storey extension to the central rotunda and to the southern wing to create a new second floor, together with a two-storey extension above the existing refuse storage and deliveries area to the north.

**LBH Ref Nos:** 37800/APP/2013/161

**Drawing Nos:** Heritage Statement - December 2012  
Transport Statement - January 2013  
Air Quality Assessment - January 2013  
Planning Statement - January 2013  
Planning Review - January 2013  
Energy Statement - 22/02/2013  
SBEM L2A Compliance Report - 22/02/2013  
198-102 P1  
198-001 P2  
198-002 P1  
198-003 P1  
198-004 P1  
198-005 P1  
198-006 P1  
198-007 P1  
198-008 P1  
198-101 P1  
198-103 P1  
198-104 P1  
198-105 P1  
198-106 P1  
198-107 P1  
198-108 P1  
198-109 P1  
198-110 P1  
198-111 P1  
198-112 P1  
Design and Access Statement - December 2012

**Date Plans Received:** 23/01/2013                      **Date(s) of Amendment(s):**

**Date Application Valid:** 06/03/2013

### 1. SUMMARY

The application seeks planning permission for the development of Stockley Arena to provide additional office accommodation, including a single-storey extension to the central rotunda and to the southern wing to create a new second floor, together with a two-storey extension above the existing refuse storage and deliveries area to the north.

It is not considered that the proposed development would result in an unacceptable impact on the visual amenities of the site or on the openness of the Green Belt. It is not considered that the development would lead to such a significant increase in traffic that

refusal could be justified on highway grounds. The proposal is considered to comply with relevant Local Plan and London Plan policies and, accordingly, approval is recommended subject to referral of the application to the Mayor of London.

## **2. RECOMMENDATION**

**That subject to the Mayor not directing the Council under Article 6 of the Town and Country Planning (Mayor of London) Order 2008 to refuse the application, or under Article 7 of the Order that he is to act as the local planning authority for the purpose of determining the application; AND subject to the Environment Agency formally withdrawing their objection, delegated powers be given to the Head of Planning, Green Spaces and Culture to grant planning permission subject to the following conditions, and any additional conditions and/or informatives which may be required by the Mayor or the Environment Agency:**

### **1 COM3 Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

#### **REASON**

To comply with Section 91 of the Town and Country Planning Act 1990.

### **2 COM4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 198-001 P2, 198-002 P1, 198-003 P1, 198-004 P1, 198-005 P1, 198-006 P1, 198-007 P1, 198-008 P1, 198-101 P1, 198-102 P1, 198-103 P1, 198-104 P1, 198-105 P1, 198-106 P1, 198-107 P1, 198-108 P1, 198-109 P1, 198-110 P1, 198-111 P1, 198-112 P1 and shall thereafter be retained/maintained for as long as the development remains in existence.

#### **REASON**

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

### **3 COM5 General compliance with supporting documentation**

The development hereby permitted shall not be occupied until the following has been completed in accordance with the specified supporting plans and/or documents:

Design and Access Statement - December 2012

Heritage Statement - December 2012

Transport Statement - January 2013

Air Quality Assessment - January 2013

Planning Statement - January 2013

Planning Review - January 2013

Energy Statement - 22/02/2013

SBEM L2A Compliance Report - 22/02/2013

Thereafter the development shall be retained/maintained in accordance with these details for as long as the development remains in existence

#### **REASON**

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).



#### **4 COM7 Materials (Submission)**

No development shall take place until details of all materials and external surfaces have been submitted to and approved in writing by the Local Planning Authority. Furthermore, precise details of the construction and finishes to the timber fin columns should be provided.

Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

#### **REASON**

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **5 COM8 Tree Protection**

No site clearance or construction work shall take place until the details have been submitted to, and approved in writing by, the Local Planning Authority with respect to:

1. A method statement outlining the sequence of development on the site including demolition, building works and tree protection measures.

2. Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres.

Thereafter, the development shall be implemented in accordance with the approved details. The fencing shall be retained in position until development is completed.

The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

2.a There shall be no changes in ground levels;

2.b No materials or plant shall be stored;

2.c No buildings or temporary buildings shall be erected or stationed.

2.d No materials or waste shall be burnt; and.

2.e No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

#### **REASON**

To ensure that trees and other vegetation can and will be retained on site and not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **6 COM9 Landscaping (car parking & refuse/cycle storage)**

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping
  - 1.a Planting plans (at not less than a scale of 1:100),
  - 1.b Written specification of planting and cultivation works to be undertaken,
  - 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate
  
2. Details of Hard Landscaping
  - 2.a Refuse Storage
  - 2.b Cycle Storage
  - 2.c Means of enclosure/boundary treatments
  - 2.d Car Parking Layouts (including demonstration that 5% of all parking spaces are served by electrical charging points)
  - 2.e Hard Surfacing Materials
  - 2.f External Lighting
  - 2.g Other structures (such as play equipment and furniture)
  
3. Living Walls and Roofs
  - 3.a Details of the inclusion of living walls and roofs in general accordance with drawing 198-101 P1
  
4. Details of Landscape Maintenance
  - 4.a Landscape Maintenance Schedule for a minimum period of 5 years.
  - 4.b Proposals for the replacement of any tree, shrub, or area of surfacing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.
  
5. Schedule for Implementation
  
6. Other
  - 6.a Existing and proposed functional services above and below ground
  - 6.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

#### REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policies 5.11 and 5.17 of the London Plan (July 2011).

#### **7 COM10 Tree to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority. If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree

surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS BS 3998:2010 'Tree work - Recommendations' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

#### REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and to comply with Section 197 of the Town and Country Planning Act 1990.

#### **8 COM31 Secured by Design**

The building(s) shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No building shall be occupied until accreditation has been achieved.

#### REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in excising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with London Plan (July 2011) Policies 7.1 and 7.3.

#### **9 SUS6 Green Travel Plan**

Prior to the commencement of the development hereby permitted a Travel Plan shall be submitted to and approved in writing by the Local Planning Authority. The Travel Plan, as submitted shall follow the current Travel Plan Development Control Guidance issued by Transport for London and will include:

- (1) targets for sustainable travel arrangements [insert desired for target(s)];
- (2) effective measures for the ongoing monitoring of the Travel Plan;
- (3) a commitment to delivering the Travel Plan objectives; and
- (4) effective mechanisms to achieve the objectives of the Travel Plan by both present and future occupiers of the development.

The development shall be implemented only in accordance with the approved Travel Plan.

#### REASON

To promote sustainable transport and reduce the impact of the development on the surrounding road network in accordance with Policies 6.1 and 6.3 of the London Plan (July 2011).

#### **10 COM15 Sustainable Water Management**

No development approved by this permission shall be commenced until a scheme for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate that sustainable drainage systems (SUDS) have been incorporated into the designs of the

development in accordance with the hierarchy set out in accordance with Policy 5.15 of the London Plan and will:

- i. provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. include a timetable for its implementation; and
- iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- iv. provide details of water collection facilities to capture excess rainwater;
- v. provide details of how rain and grey water will be recycled and reused in the development.

Thereafter the development shall proceed in accordance with the approved scheme.

#### REASON

To ensure the development does not increase the risk of flooding in accordance with Policy OE8 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and London Plan (July 2011) Policy 5.12.

#### **11 NONSC Contamination**

If any potentially contaminated buildings or grounds are found on the site during the development works the developer shall carry out investigations and chemical testing of the potentially contaminated building or ground. Any contaminated building or land shall be remedied to the satisfaction of the Local Planning Authority. Copies of all documentation relating to the aforementioned investigations and works including chemical testing, the remediation scheme, the remedial works and the validation report shall be submitted to and approved in writing by the Local Planning Authority.

#### REASON

To ensure that the occupants of the development are not subjected to any risks from soil contamination and all other pollutants in accordance with Policy OE11 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **12 NONSC Imported Soils**

All imported soils used for landscaping purposes including soils shall be clean and free of contamination.

#### REASON

To ensure that the users of the school development are not subject to any risks from soil contamination in accordance with Policy OE11 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **13 NONSC Fire Evacuation Plan**

Prior to the first occupation of the development hereby approved a comprehensive fire emergency plan that demonstrates how disabled people will be safeguarded from fire and enabled to evacuate the building shall be submitted to and approved in writing by the Local Planning Authority.

REASON

To ensure that adequate facilities are provided for people with disabilities in accordance with Policy AM13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policies 3.1, 3.8 and 7.2 of the London Plan (2011).

**14 NONSC Employment Measures**

Before the development hereby permitted is commenced, a scheme shall be submitted to, and approved in writing by the Local Planning Authority detailing an employment scheme. This shall include measures to ensure to employ local people, to seek to bring unemployed persons back into employment (such as working with job centre plus) and to ensure training opportunities, and a timetable for implementation. The approved employment scheme shall then be implemented in accordance with the agreed scheme.

REASON

To ensure the development provides an appropriate contribution to employment opportunities, in accordance with Policy R17 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the Council's Planning Obligations SPD.

**15 NONSC District Heating System**

Prior to commencement of the development details of how the building will be designed so as to ensure that the development is compatible with and capable of connection to any potential future district heating network/networks shall be submitted to, and approved in writing by, the Local Planning Authority. Thereafter the development shall be carried out and maintained in full accordance with the approved details.

REASON

To ensure that the objectives of sustainable development identified in London Plan (July 2011) Policies 5.1 and 5.3.

**16 NONSC Car Parking Management**

Prior to the commencement of the development hereby approved the applicant shall submit a detailed car parking allocation/management plan to address the management of car parking around the application site shall be submitted to, and approved in writing by the Local Planning Authority. The car parking allocation/management plan shall contain a suite of measure, which may include but not be limited to:

- (i) Provision of clear directional signage to all parking zones;
- (ii) Measures to encourage users of the gym from using parking within Zone B (as identified within the submitted Transport Statement)
- (iii) Allocate specific exclusive office based spaces
- (iv) Allocate tenant specific spaces for the retail units to be used by Staff only
- (v) Implement measures to discourage/prevent unauthorised long stay parking.

Thereafter the approved car parking allocation/management plan shall be implemented prior to the occupation of the building and thereafter maintained for the life of the development.

REASON

To ensure that the car parking is managed in a way which ensures the availability of an appropriate number of parking spaces in the interested of highway and pedestrian safety and in compliance with Policies AM2 and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**INFORMATIVES**

**1**            I52                    **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

**2**            I53                    **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM13	AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): - (i) Dial-a-ride and mobility bus services (ii) Shopmobility schemes (iii) Convenient parking spaces (iv) Design of road, footway, parking and pedestrian and street furniture schemes
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
BE8	Planning applications for alteration or extension of listed buildings
BE12	Proposals for alternative use (to original historic use) of statutorily listed buildings
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE18	Design considerations - pedestrian security and safety
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
LE1	Proposals for industry, warehousing and business development
OE1	Protection of the character and amenities of surrounding properties and the local area
OE7	Development in areas likely to flooding - requirement for flood protection measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL2	Green Belt -landscaping improvements
OL4	Green Belt - replacement or extension of buildings

OL5	Development proposals adjacent to the Green Belt
>>	London Plan (2011) Policies
LPP 2.6	(2011) Outer London: vision and strategy
LPP 2.7	(2011) Outer London: economy
LPP 2.8	(2011) Outer London: Transport
LPP 4.1	(2011) Developing London's economy
LPP 4.2	(2011) Offices
LPP 4.3	(2011) Mixed use development and offices
LPP 5.1	(2011) Climate Change Mitigation
LPP 5.2	(2011) Minimising Carbon Dioxide Emissions
LPP 5.3	(2011) Sustainable design and construction
LPP 5.11	(2011) Green roofs and development site environs
LPP 5.12	(2011) Flood risk management
LPP 6.1	(2011) Strategic Approach
LPP 6.3	(2011) Assessing effects of development on transport capacity
LPP 6.9	(2011) Cycling
LPP 6.10	(2011) Walking
LPP 6.13	(2011) Parking
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment
LPP 7.3	(2011) Designing out crime
LPP 7.4	(2011) Local character
LPP 7.6	(2011) Architecture
LPP 7.8	(2011) Heritage assets and archaeology
LPP 7.16	(2011) Green Belt

### **3            I1            Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

### **4            I3            Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

### **5            I11            The Construction (Design and Management) Regulations 1994**

The development hereby approved may be subject to the Construction (Design and Management) Regulations 1994, which govern health and safety through all stages of a construction project. The regulations require clients (ie. those, including developers, who commission construction projects) to appoint a planning supervisor and principal contractor who are competent and adequately resourced to carry out their health and

safety responsibilities. Further information is available from the Health and Safety Executive, Rose Court, 2 Southwark Bridge Road, London, SE1 9HS (telephone 020 7556 2100).

**6 112 Notification to Building Contractors**

The applicant/developer should ensure that the site constructor receives copies of all drawings approved and conditions/informatives attached to this planning permission. During building construction the name, address and telephone number of the contractor (including an emergency telephone number) should be clearly displayed on a hoarding visible from outside the site.

**7 115 Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

**8 119 Sewerage Connections, Water Pollution etc.**

You should contact Thames Water Utilities and the Council's Building Control Service regarding any proposed connection to a public sewer or any other possible impact that the development could have on local foul or surface water sewers, including building over a public sewer. Contact: - The Waste Water Business Manager, Thames Water Utilities plc, Kew Business Centre, Kew Bridge Road, Brentford, Middlesex, TW8 0EE. Building Control Service - 3N/01, Civic Centre, High Street, Uxbridge, UB8 1UW (tel. 01895 250804 / 805 / 808).

**9 134 Building Regulations 'Access to and use of buildings'**

Compliance with Building Regulations 'Access to and use of buildings' and Disability Discrimination Act 1995 for commercial and residential development.

You are advised that the scheme is required to comply with either:-

· The Building Regulations 2000 Approved Document Part M 'Access to and use of buildings', or with



- BS 8300:2001 Design of buildings and their approaches to meet the needs of disabled people - Code of practice. AMD 15617 2005, AMD 15982 2005.

These documents (which are for guidance) set minimum standards to allow residents, workers and visitors, regardless of disability, age or gender, to gain access to and within buildings, and to use their facilities and sanitary conveniences.

You may also be required make provisions to comply with the Disability Discrimination Act 1995. The Act gives disabled people various rights. Under the Act it is unlawful for employers and persons who provide services to members of the public to discriminate against disabled people by treating them less favourably for any reason related to their disability, or by failing to comply with a duty to provide reasonable adjustments. This duty can require the removal or modification of physical features of buildings provided it is reasonable.

The duty to make reasonable adjustments can be effected by the Building Regulation compliance. For compliance with the DDA please refer to the following guidance: -

- The Disability Discrimination Act 1995. Available to download from [www.opsi.gov.uk](http://www.opsi.gov.uk)
- Disability Rights Commission (DRC) Access statements. Achieving an inclusive environment by ensuring continuity throughout the planning, design and management of building and spaces, 2004. Available to download from [www.drc-gb.org](http://www.drc-gb.org).
- Code of practice. Rights of access. Goods, facilities, services and premises. Disability discrimination act 1995, 2002. ISBN 0 11702 860 6. Available to download from [www.drc-gb.org](http://www.drc-gb.org).
- Creating an inclusive environment, 2003 & 2004 - What it means to you. A guide for service providers, 2003. Available to download from [www.drc-gb.org](http://www.drc-gb.org).

This is not a comprehensive list of Building Regulations legislation. For further information you should contact Building Control on 01895 250804/5/6.

## **10 I58 Opportunities for Work Experience**

The developer is requested to maximise the opportunities to provide high quality work experience for young people (particularly the 14 - 19 age group) from the London Borough of Hillingdon, in such areas as bricklaying, plastering, painting and decorating, electrical installation, carpentry and landscaping in conjunction with the Hillingdon Education and Business Partnership.

Please contact: Mr Peter Sale, Chief Executive Officer, Hillingdon Training Ltd: contact details - c/o Hillingdon Training Ltd, Unit A, Eagle Office Centre, The Runway, South Ruislip, HA4 6SE Tel: 01895 671 976 email: [petersale@hillingdontraining.co.uk](mailto:petersale@hillingdontraining.co.uk)

## **11 I60 Cranes**

Given the nature of the proposed development it is possible that a crane may be required during its construction. The applicant's attention is drawn to the requirement within the British Standard Code of Practice for the safe use of Cranes, for crane operators to consult the aerodrome before erecting a crane in close proximity to an aerodrome. This is explained further in Advice Note 4, 'Cranes and Other Construction Issues' (available at [www.aoa.org.uk/publications/safeguarding.asp](http://www.aoa.org.uk/publications/safeguarding.asp))

## 12

With regard to surface water drainage, it is the responsibility of a developer to make proper provision for drainage to ground, water courses or a suitable sewer. In respect of surface water, it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separated and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of ground water. Where the developer proposed to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. This is to ensure that the surface water discharge from the site shall not be detrimental to the existing sewerage system.

## 13

Access:

1. The Equality Act 2010 seeks to protect people accessing goods, facilities and services from direct discrimination on the basis of a 'protected characteristic', which includes those with a disability. As part of the Act, service providers are obliged to improve access to and within the structure of their building, particularly in situations where reasonable adjustment can be incorporated with relative ease. The Act states that service providers should think ahead to take steps to address barriers that impede disabled people.

2. Induction loops should be specified to comply with BS 7594 and BS EN 60118-4, and a term contract planned for their maintenance.

3. Care must be taken to ensure that overspill and/or other interference from induction loops in different/adjacent areas does not occur.

4. Flashing beacons/strobe lights linked to the fire alarm should be carefully selected to ensure they remain within the technical thresholds not to adversely affect people with epilepsy.

## 14

You are advised that the development hereby approved represents chargeable development under the Community Infrastructure Levy. The applicant will be liable to pay the Community Infrastructure Levy to the sum of £72,473.54 on commencement of this development (please note this amount may change on final calculation). A separate liability notice will be issued by the Local Planning Authority, however you are advised that it is your responsibility to notify the Local Planning Authority of the anticipated commencement date and any changes in liability through submission of the appropriate forms.

### 3. CONSIDERATIONS

#### 3.1 Site and Locality

Located to the east of Stockley Road, the application site accommodates the Stockley Arena which is part of Stockley Park, a 47 Ha former landfill site which was successfully redeveloped into a business park in the late 1980's and now has international renown as one of the first business parks of its kind, and for the very high quality architecture and strong integration of landscaping into the design.

Stockley Park Arena was designed as the landmark core of Stockley Park. To the south, the site is adjoined by a lake, and to the north and east by the Stockley Golf Course, including the club house and its car parking area.

The current Stockley Arena premises, which were built in 1990 by Arup, include serviced office spaces, gym facilities, cafes, a bar and a launderette. As the surrounding areas of the business park have evolved, Stockley Park Arena has stayed virtually unchanged. The building benefits from a low key design, typical of its time, set in a prominent but sensitive setting by the open water lake. The site is located within the Greenbelt, additionally it is listed locally as being of historical/architectural merit.

### **3.2 Proposed Scheme**

The application seeks planning permission for development of Stockley Arena to provide additional office accommodation, including a single-storey extension to the central rotunda and to the southern wing to create a new second floor, together with a two-storey extension above the existing refuse storage and deliveries area to the north.

The proposal will create 2305sqm of gross external new office floorspace (Use Class B1) through an extension of the Stockley Arena building at ground and first floor levels and the addition of a third storey. The overall key design impact will therefore be to raise the general building height from 2 to 3 storeys in a protected Green Belt location.

The additional gross internal floor area created would be 2080sqm, made up of 250sqm at ground floor level, 410sqm at first floor level, and 1420sqm in the new second floor. The small area of ground and first floor accommodation is located to the north west of the adjacent to the existing health club, and over the existing service area. The larger area at second floor represents the erection of a new floor at roof level over the existing accommodation. Additional landscaping and tree planting is proposed around the car park and to the north east of the building.

### **3.3 Relevant Planning History**

37800/86/1390                      Stockley Park Central Leisure & Amnty BI Stockley Road West Drayton  
Details of Central Leisure & Amenity buildings in compliance with outline planning permission ref. 27951B/81/1955 dated 20.12.84

**Decision:** 14-11-1986    Approved

37800/APP/2010/1669              The Arena, Stockley Park Stockley Road West Drayton  
Change of use from Class B1 (Office) to Class D1 (Non-residential institutions) for use as further education college and management training premises.

**Decision:** 08-02-2011    Refused

#### **Comment on Relevant Planning History**

The planning history relevant to this portion of Stockley Park is listed above. Stockley Park as a whole was granted planning permission in 1984.

### **4. Planning Policies and Standards**

Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012)

Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012)  
 London Plan (July 2011)  
 National Planning Policy Framework  
 Hillingdon Supplementary Planning Document - Accessible Hillingdon  
 Hillingdon Supplementary Planning Document - Noise  
 Hillingdon Supplementary Planning Document - Planning Obligations  
 Hillingdon Supplementary Planning Guidance - Air Quality  
 Hillingdon Supplementary Planning Guidance - Community Safety by Design  
 Hillingdon Supplementary Planning Guidance - Land Contamination

### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

#### Part 1 Policies:

- PT1.BE1 (2012) Built Environment
- PT1.CI2 (2012) Leisure and Recreation
- PT1.E1 (2012) Managing the Supply of Employment Land
- PT1.EM1 (2012) Climate Change Adaptation and Mitigation
- PT1.EM2 (2012) Green Belt, Metropolitan Open Land and Green Chains
- PT1.EM6 (2012) Flood Risk Management
- PT1.EM8 (2012) Land, Water, Air and Noise
- PT1.EM11 (2012) Sustainable Waste Management
- PT1.HE1 (2012) Heritage
- PT1.T1 (2012) Accessible Local Destinations

#### Part 2 Policies:

- AM2 Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
- AM7 Consideration of traffic generated by proposed developments.
- AM9 Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
- AM13 AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): -
  - (i) Dial-a-ride and mobility bus services
  - (ii) Shopmobility schemes
  - (iii) Convenient parking spaces
  - (iv) Design of road, footway, parking and pedestrian and street furniture schemes
- AM14 New development and car parking standards.
- AM15 Provision of reserved parking spaces for disabled persons
- BE8 Planning applications for alteration or extension of listed buildings
- BE12 Proposals for alternative use (to original historic use) of statutorily listed buildings
- BE13 New development must harmonise with the existing street scene.
- BE15 Alterations and extensions to existing buildings

BE18	Design considerations - pedestrian security and safety
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
LE1	Proposals for industry, warehousing and business development
OE1	Protection of the character and amenities of surrounding properties and the local area
OE7	Development in areas likely to flooding - requirement for flood protection measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL2	Green Belt -landscaping improvements
OL4	Green Belt - replacement or extension of buildings
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LPP 2.8	(2011) Outer London: Transport
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LPP 4.3	(2011) Mixed use development and offices
LPP 5.1	(2011) Climate Change Mitigation
LPP 5.2	(2011) Minimising Carbon Dioxide Emissions
LPP 5.3	(2011) Sustainable design and construction
LPP 5.11	(2011) Green roofs and development site environs
LPP 5.12	(2011) Flood risk management
LPP 6.1	(2011) Strategic Approach
LPP 6.3	(2011) Assessing effects of development on transport capacity
LPP 6.9	(2011) Cycling
LPP 6.10	(2011) Walking
LPP 6.13	(2011) Parking
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment
LPP 7.3	(2011) Designing out crime
LPP 7.4	(2011) Local character
LPP 7.6	(2011) Architecture
LPP 7.8	(2011) Heritage assets and archaeology
LPP 7.16	(2011) Green Belt

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **23rd April 2013**

5.2 Site Notice Expiry Date:- **23rd April 2013**

## 6. Consultations

### External Consultees

Consultation letters were sent to 11 local owner/occupiers on 27/03/2013. The application was also advertised by way of site and press notices. No responses were received.

#### GREATER LONDON AUTHORITY:

London Plan policies on Green Belt, heritage, economic development, urban design, inclusive access, sustainable development and transport are relevant to this application. The application complies with some of these policies, but not with others, for the following reasons:

- Green Belt: The applicant should respond to the issues raised in the urban design section of this report to ensure that the impact on Green Belt openness would be suitably minimised and mitigated in accordance with London Plan Policy 7.16.

- Heritage: The proposed alterations to the locally listed Arena building do not raise a strategic objection with respect to London Plan policies 7.8 and 7.9.

- Economic development: The proposed serviced office space is supported in accordance with the aims of London Plan policies 4.1 and 4.2.

- Urban design: The applicant should respond to the detailed comments within the urban design and sustainable development sections of this report, in order to ensure that this scheme would appropriately respond to its Green Belt setting in accordance with London Plan policies 7.1, 7.16 and 7.21.

- Inclusive access: The proposed response to access and inclusion is broadly supported in accordance with London Plan Policy 7.2.

- Sustainable development: The proposed energy strategy is broadly supported in accordance with London Plan Policy 5.2, however, the applicant is encouraged to explore further options for district networking in accordance with the aims of London Plan Policy 5.6. With respect to climate change adaptation, the applicant should incorporate urban greening, biodiversity and sustainable urban drainage measures to ensure accordance with London Plan policies 5.10, 5.11, 5.13, 7.19 and 7.21.

- Transport: Whilst the application is broadly supported in strategic transport terms, further discussion, clarification and/or commitments are sought with respect to cycle parking; bus stops; construction, delivery and servicing; and, travel planning, to ensure accordance with London Plan policies 6.3, 6.7, 6.9, 6.14 and 7.26.

Whilst the proposed employment space is supported, the proposed development does not yet comply with the London Plan. However, the resolution of the above issues could lead to the application becoming compliant with the London Plan.

Following these comments, the applicant provided revised details to the GLA, who then provided the following comments:

#### Green Belt/Urban design

The proposed introduction of additional tree planting (within the North Wing car parking area, and the managed grass area to the east of the Arena), is strongly supported in response to the Mayor's initial representations. GLA officers are now content that the proposed response to the Green Belt setting is acceptable in strategic planning terms.

#### Sustainable development (energy)

Upon review of the applicant's response to the energy issues identified at consultation stage, it is accepted that: (a) there is no non-seasonal waste heat source available from other buildings in the vicinity that could be used to provide heat for space heating or hot water; and, (b) to connect the proposed development to the Stockley Park Phase 3 development would require 800m heat main that would need to cross a major road and is therefore considered non-viable.

It is, nevertheless, noted that the development will be designed to ensure that future connection to a district heating network would be possible. This is supported, and, where viable, the applicant should seek to connect to the Stockley Park Phase 3 heat network if/when it is extended beyond the A408.

#### Climate change adaptation

As discussed above, the proposed tree planting measures are supported in response to: the Green Belt setting; and, the proposed loss of five horse chestnut trees. Details of the planting strategy, and the proposed living roof areas, should be appropriately secured by way of planning condition/obligation, as appropriate.

#### ENVIRONMENT AGENCY:

We object to the proposed development as submitted because there is insufficient information to demonstrate that the risk of pollution to controlled waters is acceptable. No preliminary risk assessment report has been submitted with the application documents to assess any potential risk to groundwater.

There are two strands to this objection. These are that:

- We consider the level of risk posed by this proposal to be unacceptable.
- The application fails to provide assurance that the risks of pollution are understood, as a preliminary risk assessment (including a desk study, conceptual model and initial assessment of risk) has not been provided. This proposal requires a proper assessment whenever there is a potential risk, not only where the risk is known.

#### Reason:

The site is underlain by the Lynch Hill Gravel formation which is classed as a Principal Aquifer.

The applicant should provide information to satisfactorily demonstrate to the local planning authority that the risk to controlled waters has been fully understood and can be addressed through appropriate measures. This information should include: a preliminary risk assessment (including a desk study, conceptual model and initial assessment of risk).

National Planning Policy Framework paragraph 109 states that the planning system should contribute to and enhance the natural and local environment by preventing both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by unacceptable levels of water pollution. Paragraph 120 states that local policies and decisions should ensure that new development is appropriate for its location, having regard to the effects of pollution on health or the natural environment, taking account of the potential sensitivity

of the area or proposed development to adverse effects from pollution. Government policy also states that planning policies and decisions should also ensure that adequate site investigation information, prepared by a competent person, is presented (NPPF, paragraph 121).

**Officer Comment:**

The applicant has stated that they will provide additional information to demonstrate that the proposal would not cause a risk of pollution and it is considered there are likely to be technical solutions to address this concern. The recommendation for approval is subject to the Environment Agency withdrawing their objection.

**NATURAL ENGLAND:**

Natural England is a non-departmental public body. Our statutory purpose is to ensure that the natural environment is conserved, enhanced, and managed for the benefit of present and future generations, thereby contributing to sustainable development.

The lack of specific comment from Natural England should not be interpreted as a statement that there are no impacts on the natural environment, but only that the application is not likely to result in significant impacts on statutory designated sites, landscapes or species. It is for the local authority to determine whether or not this application is consistent with national or local policies on biodiversity and landscape and other bodies and individuals may be able to help the Local Planning Authority (LPA) to fully take account of the environmental value of this site in the decision making process, LPAs should seek the views of their own ecologists when determining the environmental impacts of this development.

We would, in any event, expect the LPA to assess and consider the possible impacts resulting from this proposal on the following issues when determining this application:

**Protected species**

If the LPA is aware of, or representations from other parties highlight the possible presence of a protected or Biodiversity Action Plan (BAP) species on the site, the authority should request survey information from the applicant before determining the application. The Government has provided advice on BAP and protected species and their consideration in the planning system.

Natural England Standing Advice is available on our website to help local planning authorities better understand the impact of this particular development on protected or BAP species should they be identified as an issue at particular developments. This also sets out when, following receipt of survey information, the authority should undertake further consultation with Natural England

**Local wildlife sites**

If the proposal site could result in an impact on a Local Site, Local Nature Reserve (LNR) or priority habitat the authority should ensure it has sufficient information to fully understand the impact of the proposal on the local site before it determines the application, ensuring that it does so in conformity with the wording of paragraph 168 of the National Planning Policy Framework. For further information on Local Sites, your authority should seek views from your ecologist, or the Local Sites designation body in your area.

**Biodiversity enhancements**

This application may provide opportunities to incorporate features into the design which are beneficial to wildlife, such as the incorporation of roosting opportunities for bats or the installation of bird nest boxes. The authority should consider securing measures to enhance the biodiversity of the site from the applicant, if it is minded to grant permission for this application. This is in accordance with Paragraph 118 of the NPPF. Additionally, we would draw your attention to Section 40 of the Natural Environment and Rural Communities Act (2006) which states that 'Every public



authority must, in exercising its functions, have regard, so far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity'. Section 40(3) of the same Act also states that 'conserving biodiversity includes, in relation to a living organism or type of habitat, restoring or enhancing a population or habitat'.

#### Local Landscape

This proposal does not appear to be either located within, or within the setting of, any nationally designated landscape. All proposals however should complement and where possible enhance local distinctiveness and be guided by your Authority's landscape character assessment where available, and the policies protecting landscape character in your local plan or development framework.

Should the proposal be amended in a way which significantly affects its impact on the natural environment then, in accordance with Section 4 of the Natural Environment and Rural Communities Act 2006, Natural England should be consulted again.

#### BAA SAFEGUARDING:

The proposed development has been examined from an aerodrome safeguarding perspective and does not conflict with safeguarding criteria. We therefore have no objection to this proposal, subject to an informative regarding cranes.

#### NATS SAFEGUARDING:

The proposed development has been examined from a technical safeguarding aspect and does not conflict with our safeguarding criteria. Accordingly, NATS (En Route) Limited has no safeguarding objections to this proposal.

#### THAMES WATER:

##### Waste Comment:

With regard to surface water drainage, it is the responsibility of a developer to make proper provision for drainage to ground, water courses or a suitable sewer. In respect of surface water, it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separated and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of ground water. Where the developer proposed to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. This is to ensure that the surface water discharge from the site shall not be detrimental to the existing sewerage system.

Thames Water would advise that with regard to sewerage infrastructure we would not have any objection to the above planning application.

##### Water Comment:

With regard to water supply, this comes within the area covered by the Affinity Water Company.

#### **Internal Consultees**

##### URBAN DESIGN AND CONSERVATION

The Arena at Stockley Park is a Locally Listed building and the social focus of the park.

The supporting information contained in both the Planning and the Heritage Statement is good in terms of understanding and explaining the significance of the building.

The revised scheme is a great improvement in design terms on the pre-application proposals and certainly follows much of the pre-application design advice provided by the Council.

There are still some design improvements that could be made to enable the proposals to be subservient to the main structure. If the height were reduced this would prevent the building appearing too top heavy in long views.

Officer comment:

The additional storey is setback and subservient to the main structure. The applicant has stated that the floor to ceiling height to the proposed extension over the existing is currently shown at 2.9m (similar to the existing office spaces) with a 1.1m zone above for structure, roof build up, plant and parapets. Within this area is a raised floor for services, therefore the clear free height is almost at its minimum. Therefore, any further reduction in service voids is likely to require pipe work and services to be routed externally, which from many aspects is not desirable, especially from a visual amenity perspective. On balance, it is considered that the design as currently proposed is acceptable.

#### TREES/LANDSCAPING:

Phase 1 of this award-winning Business Park was built in the 1980's and 90's on land which had been restored following a history of gravel extraction and subsequent land-filling. Part of the success of the development is due to the site master-planning and quality of the landscape setting which includes formal planting of Lime avenues, Hornbeam hedges and ornamental shrubs juxtaposed with mixed native woodland and waterside vegetation. The whole is set within sculpted landforms and a series of lakes, designed to regulate surface and groundwater movement, all accessed by a network of footpaths and bridges. The surface level landscaped car parks at Stockley Park are also a signature landscape feature site, due to the successful screening / filtering of views using swathes of evergreen shrub planting at a lower level with tall hedges of fastigiated Hornbeam at a higher level. The car park at the Arena is currently one of the less well- screened car parks, following the selected (authorised) removal of trees from the central landscaped strips within the car park. The original density of tree planting was deemed to be compromising the security of the car park and its users - and thus became a victim of its own success.

No formal tree survey and assessment (in accordance with BS5837) has been submitted. However, the Design & Access Statement (1.1.7.2) refers to landscape features and a Visual Impact Assessment - and pre-application discussions. While existing soft landscape features at Stockley Park have been planted and established in accordance with approved plans, they are not protected by Tree Preservation Order or Conservation Area designation. The Arena (and much of the Stockley Park site) lies within the Green Belt.

The character and visual amenity/appearance of Stockley Park owes much to the high quality of its developing landscape and maintenance. Trees at, and close to, the Arena should be safeguarded where their quality, value and useful life expectancy merit retention.

Considerations:

Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

- Meld Architects drawing No.198-103 Proposed First Floor Plan confirms that the 5No. Horse Chestnuts to the north of the Main Entrance will be removed in order to accommodate the north wing extension. Drawing No. 198-11 Issue P1 Proposed Indicative View Looking from North West confirms that the loss of this tree group will result in the exposure of a dominant three-storey facade which will be unrelieved by any foreground planting or landscaped setting. This is in stark

contrast to the elevation of the extension above the south wing and the curved wall of the Arena, views of which are filtered by trees. This could best be resolved by the re-introduction of trees within the car park.

- The Design & Access Statement confirms (1.1.7.2) that, following initial planning advice, the group of 9No. trees to the north of the health club will be retained as part of the current proposal - as indicated on drawing No. 198-103 issue P1.

- The Indicative Views provided on drawing Nos. 198-108, 109,110 (all Issue P1), demonstrate views where the built extensions are either above the existing footprint of the building and / or the visual impact of the extensions is less significant.

- Drawing No. 198 - 101 Issue P1 indicates that the north and south wing extensions will have green / brown roofs. There can be a significant difference (specification, cost, appearance, use) between green and brown roofs. Full details will be required by condition.

- Landscape conditions will be necessary to preserve and enhance the visual amenities of the locality and to ensure that adequate replacement planting is provided.

**Recommendation:**

No objection, subject to the above comments. Agreement should be sought, prior to determination, about the replacement planting within the car park and the intentions for the green / brown roof. If this application is to be approved, conditions COM9 (parts 1,2,3,4,5 and 6) should be imposed.

Revised details have been provided, and as such further comments have been provided:

I have now reviewed the proposals described on the A4 report v.1, dated 11 June 2013 and illustrated in Quartet design's drawing No.QD645\_100-01:

1. The proposed planting in the car park will make a significant beneficial impact on the site, restoring the car park to its original (landscape) quality with approximately 39No Carpinus betulus 'Frans Fontaine'.

2. The proposal to plant a Birch copse with understorey of wildflower meadow, between the Arena and the Golf Clubhouse, will also constitute a visual and wildlife enhancement to the site.

These landscape enhancements are to be welcomed and will provide generous mitigation for the loss of planting necessitated by the proposed development.

If the application is recommended for approval, landscape conditions are still required in support of these proposals.

**ACCESS OFFICER:**

The proposal seeks approval for additional office accommodation within the Arena building above the existing refuse and delivery area. The multi-purpose Arena building is located between the Business Park and the golf course. Whilst the park has become an established social and sporting venue, offering a licenced venue, this is very much seen as ancillary to its core business which is to provide high quality office space for large corporations.

Whilst the proposal is essentially acceptable from an accessibility point of view, the following points should be clarified and amendments sought as appropriate:

i) As required by UDP (saved) Policy AM15, 10% of any new parking spaces should be accessible.

They should be sited within 40m of the entrance, be a minimum of 4.8m x 2.4m and marked and signed in accordance with BS 8300.

ii) The accessible toilets proposed on the first and second floors should be designed in accordance with Approved Document M to the Buildings Regulations 2004.

iii) The accessible toilets should be signed either "Accessible WC" or "Unisex". Alternatively, use of the International wheelchair symbol and the words "Ladies" and "Gentlemen" or "Unisex" would be acceptable.

iv) Alarm systems should be designed to allow deaf people to be aware of its activation. (Such provisions could include visual fire alarm activation devices, and/or a vibrating pager system.)

v) A refuge area does not appear to be shown on plan. Advice from an appropriate fire safety officer or agency should be sought at an early stage to ensure that adequate and appropriate refuge areas are incorporated into the scheme as a whole. Refuge areas provided should be sized and arranged to facilitate manoeuvrability by wheelchair users (Refer to BS 9999: 2008). Refuge areas must be adequately signed and accessible communication points should also be provided in the refuge area.

Recommended Informatives:

1. The Equality Act 2010 seeks to protect people accessing goods, facilities and services from direct discrimination on the basis of a 'protected characteristic', which includes those with a disability. As part of the Act, service providers are obliged to improve access to and within the structure of their building, particularly in situations where reasonable adjustment can be incorporated with relative ease. The Act states that service providers should think ahead to take steps to address barriers that impede disabled people.

2. Induction loops should be specified to comply with BS 7594 and BS EN 60118-4, and a term contract planned for their maintenance.

3. Care must be taken to ensure that overspill and/or other interference from induction loops in different/adjacent areas does not occur.

4. Flashing beacons/strobe lights linked to the fire alarm should be carefully selected to ensure they remain within the technical thresholds not to adversely affect people with epilepsy.

Conclusion:

No objection would be raised provided the above access issues are secured by way of a suitable planning condition attached to any grant of planning permission.

S106 OFFICER:

No S106 contributions are considered to arise from this application with reference to the Council's SPD for Planning Obligations.

HIGHWAYS OFFICER:

No objection to the proposal, subject to a car parking management plan to ensure the appropriate allocation and management of the car parking area serving the arena.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The proposed use will consist of additional office space to a commercial building. As such, the proposal would not significantly alter the character of the uses on the site, and the use is considered to be a suitable use for a site on the edge of a business park, subject to the impact of the development on the Green Belt.

The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the most important attribute of Green Belts is their openness. Policy OL1 of the Hillingdon UDP specifies that there is a presumption against inappropriate development. Policy OL1 states that agriculture, horticulture, nature conservation, open-air recreation and cemeteries are the only uses that are acceptable within the Green Belt, and that new buildings are only acceptable if they are essential for the open land use.

Any development, which is contrary to OL1, is considered 'inappropriate' development. The NPPF states that 'inappropriate development' is, by definition, harmful to the Green Belt. Such development should not be approved, except in very special circumstances.

The NPPF states that 'a local planning authority should regard the construction of new buildings as inappropriate in Green Belt. Exceptions to this are:

- buildings for agriculture and forestry;
- provision of appropriate facilities for outdoor sport, outdoor recreation and for cemeteries, as long as it preserves the openness of the Green Belt and does not conflict with the purposes of including land within it;
- the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building;
- the replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces;
- limited infilling in villages, and limited affordable housing for local community needs under policies set out in the Local Plan; or
- limited infilling or the partial or complete redevelopment of previously developed sites (brownfield land), whether redundant or in continuing use (excluding temporary buildings), which would not have a greater impact on the openness of the Green Belt and the purpose of including land within it than the existing development.'

The National Planning Policy Framework states 'when considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt.

The application has outlined that the Business Park overall is now competing to a greater extent with other Business Parks in the South East/London and to maintain the competitiveness of the park as a business destination continued investment in the park is vital.

The exception considered relevant in this instance is 'the extension or alterations of a building, provided that it does not result in a disproportionate addition over and above the size of the original building, will not be considered as inappropriate development within the Green Belt'. Also in paragraph 90 it states that 'the reuse of buildings, provided that they are of permanent and substantial construction, is not inappropriate'.

Furthermore, under Hillingdon UDP Policy OL4 the 'Local Planning Authority will only permit the replacement or extension of buildings within the Green Belt if:

- The development would not result in any disproportionate change in the bulk or

character of the original building;

- The development would not significantly alter the built up appearance of the site.
- Having regard to the character of the surrounding area the development would not injure the visual amenities of the green belt be reason of siting, materials, design, traffic or activities generated.

It is considered that the single storey addition proposed to the Arena Building is proportionate to the original building and would not significantly impact on the openness or visual amenities of the Green Belt. The proposed extension has had extensive input from the Council's Urban Design Officer. Officers are satisfied that the scale of the extensions are appropriate considering their affect on the setting of the locally listed building. Furthermore, the detailed control of building materials, via condition, will help preserve the appearance of the building. There is no additional car parking proposed, therefore ensuring that there will be minimal change to the existing traffic situation, and no additional hardstanding would be created.

With regard to the proposed office use, there is already an existing office use within the building, so the proposal does not seek the introduction of a use that could be considered harmful or intrusive to the nature of the site.

Whilst it is acknowledged that the development will introduce a larger building into this setting, which has the potential to detract from the visual amenity and openness of the Green Belt, the proposal is not considered to be a disproportionate extension to the existing building, and is therefore not inappropriate development. It would provide additional commercial floorspace on the site, with only a minimal increase in overall building footprint. The increase in building footprint would be located on existing hardstanding. Additional landscaping is proposed to soften the appearance of the site further and overall is considered that the proposal would not harm the openness of the Green Belt.

#### **7.02 Density of the proposed development**

No residential units are proposed as part of this application. As such, density is not relevant to the application.

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The site is not located within a Conservation Area, Area of Special Local Character or Archaeological Priority Area, and there are no statutorily Listed Buildings on the site. The Arena at Stockley Park is a very important Locally Listed building and the social focus of the park.

It is considered that the scheme is a great improvement in design terms on the pre-application proposals and follows much of the design advice provided by the Council. The Council's Urban Design and Conservation Officer still raises some concerns with minor detailed aspects of the proposal and these are addressed below.

With regard to concerns relating to the height of the extension and the roof form, the applicant has stated that the floor to ceiling height to the proposed extension over the existing is currently shown at 2.9m (similar to existing office spaces) with a 1.1m zone above for structure, roof build up, plant and parapets. Within this area is a raised floor for services, therefore the clear free height is almost at its minimum. Therefore, any further reduction in service voids is likely to require pipework and services to be routed externally, which from many aspects is not desirable, especially from a visual amenity perspective. As such, the additional height is considered acceptable in this instance, as it allows the plant and ducting to be kept within the building.

In relation to the Design Officers comment on set back. The second floor is set back from the main southern frontage of the original building, which is considered satisfactory. If the additional floor were to be set back from the other wings, it would result in a poor internal layout, affecting the usability of the internal office floor space.

Further, officers consider that overall the new addition to the northwest is a complete structure that would read as an extension to the original building. As such, it is not considered that the upper floors need to be set back in this instance.

Therefore, on balance, it is considered that the scheme is designed and laid out in a way which would not impact on the character and appearance of the building or the heritage of the borough.

#### **7.04 Airport safeguarding**

BAA and NATS Safeguarding have reviewed the application and raise no objection to the application from an airport safeguarding perspective. As such, it is considered that the proposal would not impact on the safe operation of any airport.

#### **7.05 Impact on the green belt**

This has been addressed in section 7.01 of this report.

#### **7.07 Impact on the character & appearance of the area**

The NPPF makes it clear that the visual amenities of the Green Belt should not be injured by proposals for development within or conspicuous from the Green Belt which, although they would not prejudice the purposes of including land in Green Belts, might be visually detrimental by reason of their siting, materials or design.

As discussed above, it is acknowledged that the proposal would result in a three-storey building that would be visible from parts of the Green Belt, however it would be screened from the wider areas such as Stockley Road by existing landscaping. In addition, the wider context of the site adjacent to an IBA, means that large industrial and commercial buildings are a recognised element of such areas.

Additionally, any loss of the openness will be offset through the provision of further landscape treatment, to be secured via a condition on any permission. As such, it is considered that the proposal would not impact on the character or appearance of the wider area.

#### **7.08 Impact on neighbours**

The nearest residential properties are located over 100 metres from the northern boundary of the site. As such, it is considered that the scheme would not result in any impacts on the neighbouring properties.

#### **7.09 Living conditions for future occupiers**

No residential units are proposed as part of this application. As such, density is not relevant to the application.

#### **7.10 Traffic impact, Car/cycle parking, pedestrian safety**

The proposal is not considered to create a significant amount of additional traffic to the site once it is complete, as the development would not result in the intensification of the use. Traffic will be generated while the works are carried out, however, trip number are likely to be negligible, and is likely to be able to be accommodated within the existing car parking area on the site.

#### **7.11 Urban design, access and security**

It is considered that there are no urban design or security issues arising from the

proposal. Access is considered in other sections of the report.

#### **7.12 Disabled access**

The scheme would provide for an accessible building on all floors with the provision of a DDA compliant lift to access the extensions to the building. Level access is provided from the new building to the external areas and to the car park. Disabled WC facilities will be provided and all new doors and finishes will fully comply with Part M of the Building Regulations. A condition is also proposed to ensure an appropriate fire evacuation plan is in place. Accordingly the scheme is considered to be consistent with Policies R16 and AM15 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **7.13 Provision of affordable & special needs housing**

No residential units are proposed as part of this application. As such, density is not relevant to the application.

#### **7.14 Trees, landscaping and Ecology**

A number of trees in and around the site, including most of those along the site boundaries, which are particularly important to the visual amenity of the site, would be retained. It is necessary to remove a small number of trees adjacent to the entrance of the site to enable the extension to the northwest of the building.

The majority of the trees to be retained are those along the boundaries of the site. These trees will assist in the screening of the building from the wider area. The proposed tree planting across the site would be within the car park, which will make a significant beneficial impact on the site, restoring the car park to its original landscape quality, and to the northeast of the building, which will constitute a visual and wildlife enhancement to the site. These landscape enhancements are to be welcomed and will provide generous mitigation for the loss of planting necessitated by the proposed development.

It is considered that trees on the site should be protected via condition. Additional conditions are also recommended to ensure future landscaping arrangements are acceptable. Subject to these conditions, it is considered that the proposal which would achieve appropriate outcomes in terms of policy BE38.

#### **7.15 Sustainable waste management**

It is considered that the refuse for the development could be dealt with by the existing site servicing.

#### **7.16 Renewable energy / Sustainability**

Policy 5.2 of the London Plan (July 2011) requires development proposals to make the fullest contribution possible to reducing carbon emissions. Major development schemes must be accompanied by an energy assessment to demonstrate how a 25% target reduction in carbon dioxide emissions will be achieved, where feasible.

In accordance with this policy the applicant has submitted an Energy Statement and a Sustainability Checklist to demonstrate how the London Plan objectives will be met. In addition to energy efficient building measures such as ensuring the building is well insulated, use of under floor heating, energy efficient lighting, energy efficient boiler and similar, photovoltaic panels would be provided on the roof of the building to provide a portion of the site's energy needs through the use of a renewable energy. These measures would achieve a 25% reduction in carbon dioxide emissions above Part L of the Building Regulations in compliance with London Plan requirements.

London Plan policy 5.11 states that major development proposals should provide green roofs. The development proposes a green/brown roof to the extension. As such, the proposed scheme is considered to comply with relevant London Plan policies.



#### **7.17 Flooding or Drainage Issues**

The site does not fall within a flood zone and no issues relating to flooding have been identified.

London Plan policy 5.13 states that development proposals should use sustainable urban drainage systems (SUDS) unless there are good reasons for not doing so. Given the scale of the development, it is considered that additional water efficiency measures should be incorporated into the scheme, in accordance with London Plan policy. This would be required by way of condition.

#### **7.18 Noise or Air Quality Issues**

Noise:

It is not considered that the proposed development would result in any increased noise levels over and above the existing use of the site.

Air Quality:

The site falls within Air Quality Management Area and, as such the applicant has submitted an Air Quality Assessment in support of the application. This confirms that existing and proposed pollution levels at the site, after development, fall below current EU limits.

#### **7.19 Comments on Public Consultations**

No public comments have been received.

#### **7.20 Planning obligations**

It is considered that there is no requirement for any obligations as part of this application.

#### **7.21 Expediency of enforcement action**

No Enforcement action is required in this instance.

#### **7.22 Other Issues**

CONTAMINATION

The existing building has been constructed on an area of landfill. Due to the previous use of the site, it is recommend a condition be imposed on any permission that remediation be required should any contamination be found during the works. Also, that no imported soils be used unless they are free from contamination. This is to ensure that the proposal poses an acceptable risk to ground and surface waters and to ensure that any human health issues are addressed.

#### **8. Observations of the Borough Solicitor**

None.

#### **9. Observations of the Director of Finance**

None.

#### **10. CONCLUSION**

The proposed development is considered to be in keeping with the character and appearance of the site, and would not have any significant detrimental impact on the openness of the Green Belt or on the visual amenities of the surrounding area. It would not have any significant detrimental impact on the amenity of the nearest residential occupants and would not result in such an increase in traffic or parking demand such that it would have an unacceptable impact on the surrounding road network sufficient to justify refusal.

The applicant has demonstrated that the proposal will achieve high levels of accessibility and London Plan standards relating to sustainability and carbon reductions have been achieved.

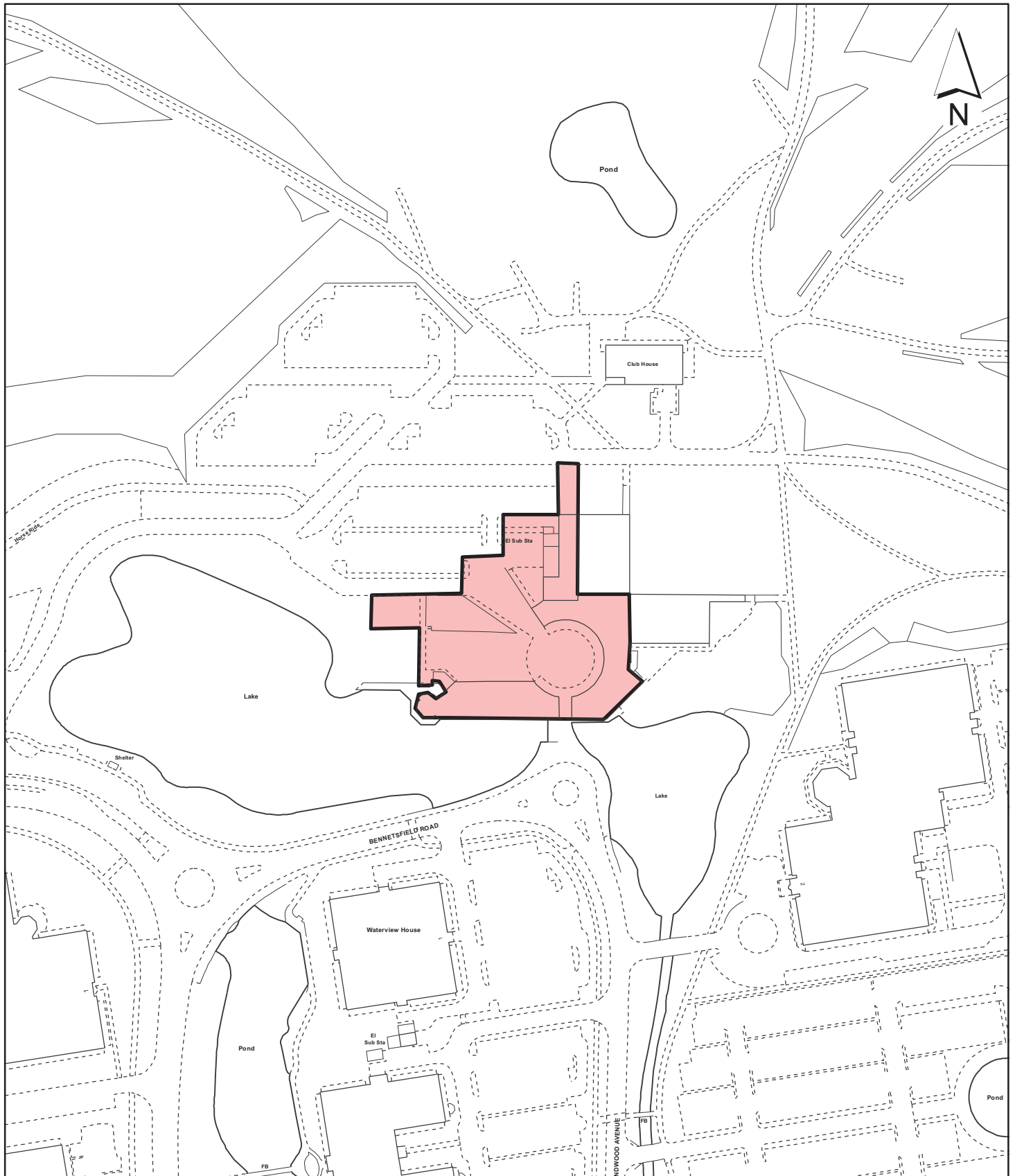
In view of the above, the proposal is considered to comply with relevant national, regional and local planning policy and, as such, approval is recommended, subject to referral of the application to the Mayor of London.

#### **11. Reference Documents**

Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012)  
Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012)  
London Plan (July 2011)  
National Planning Policy Framework  
Hillingdon Supplementary Planning Document - Accessible Hillingdon  
Hillingdon Supplementary Planning Document - Noise  
Hillingdon Supplementary Planning Document - Planning Obligations  
Hillingdon Supplementary Planning Guidance - Air Quality  
Hillingdon Supplementary Planning Guidance - Community Safety by Design  
Hillingdon Supplementary Planning Guidance - Land Contamination

**Contact Officer:** Adam Flynn

**Telephone No:** 01895 250230



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**The Arena, Stockley Park  
Stockley Road  
West Drayton**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:  
**37800/APP/2013/161**

Scale  
**1:2,000**

Planning Committee  
**Major Applications**

Date  
**July  
2013**



**HILLINGDON**  
LONDON

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## Report of the Head of Planning, Sport and Green Spaces

**Address** KNIGHTS OF HILLINGDON FLORISTS UXBRIDGE ROAD HILLINGDON

**Development:** "Retrospective planning application to vary condition 4 (that the development hereby permitted shall be carried out in accordance with the following approved plans) to outline planning permission (Ref 15407/APP/2009/1838) granted on appeal on 17 June 2010 for the "erection of new health centre and 12 residential units with ancillary car parking and landscaped amenity space" to seek retain the building as built including divergences from the approved scheme in respect to the roof profile that serves the lift shaft on the rear elevation of the building, the disabled car parking provision and the level access provided to the building entrance involving the introduction of a 'bridge structure' over a void adjacent to the rear elevation.

**LBH Ref Nos:** 15407/APP/2013/1170

**Drawing Nos:**  
1021-P-302  
1021-P-303  
1021-P-304  
1021-P-305  
1021-P-311  
1021-P-312  
1021-P-300  
1021-P-312  
1021-P-301  
1021-P-310

**Date Plans Received:** 08/05/2013

**Date(s) of Amendment(s):**

**Date Application Valid:** 23/05/2013

### 1. SUMMARY

The application is a retrospective application that seeks to regularise the built out scheme that has departed from the approved scheme (Ref 15407/APP/2009/1838) by varying condition 4 (that the development hereby permitted shall be carried out in accordance with the following approved plans). The current scheme retains the ground floor function for a medical centre (albeit to date the works on site to facilitate this aspect of the approved scheme are limited, with no internal fit out). At least 1 of the residential units is already occupied.

The completed scheme departs from the approved drawings in a number of respects. The main departures are:-

- (i) The lift tower which is taller in height and width and differs in profile and finish treatment;
- (ii) A roof form with a larger expanse of crown roof and with 3 additional rooflights (not previously approved), and 2 other rooflights larger in surface area than were previously approved;
- (iii) The loss of the direct level pedestrian access from the residential stairwell/lift tower to De Sallis Road;
- (iv) The loss of 2 disabled car parking bays at ground level, that were intended for the medical centre.
- (v) Additional Juliette balconies on the rear elevation.

This current partly built out scheme is considered to fail to comply with relevant planning policies resulting from (a) the lack of disabled car parking provision for the medical centre and (b) the introduction of a discordant and incongruous appearance to the lift tower, arising from the cumulative impact of its finish height set above the main roof, its width, its roof profile and the finish treatment. As such the scheme is recommended for refusal.

## **2. RECOMMENDATION**

### **REFUSAL for the following reasons:**

#### **1 NON2 Non Standard reason for refusal**

The proposal fails to provide adequate in number or useable disabled car parking bays to the medical centre (D1 use) or demonstrate satisfactory level pedestrian access to the residential development from the street contrary to Part One Policy BE1 of the Hillingdon Local Plan: Part One (November 2012), the Council's adopted parking standards, Policies R16, AM13, AM14, AM15 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012), Hillingdon's adopted HDAS 'Accessible Hillingdon' Supplementary Planning Document (May 2013), London Plan Policies 6.2 and 7.2 and Section 4.4.3 of British standard 8300:2009.

#### **2 NON2 Non Standard reason for refusal**

The lift tower, as built and shown on proposed plans fails to be a subservient, represent a discordant and incongruous element that would detract from the appearance of the development and the general character and visual amenity of De Salis Road. As such it is considered this aspect of the scheme is contrary to Hillingdon Local Plan: Part One (November 2012) Policy BE1, Policies BE13 and BE19 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012), Policies 3.5 and 7.4 of the London Plan and the adopted Supplementary Planning Document HDAS: Residential Layouts

#### **3 NON2 Non Standard reason for refusal**

The proposed development fails to provide convenient and accessible refuse and recycling facilities to occupants of the residential units contrary to Policies R16 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012), Hillingdon's adopted HDAS 'Accessible Hillingdon' Supplementary Planning Document (May 2013), London Plan Policy 5.17 and paragraph 6.8.9 of Manual for Streets

#### **4 NON2 Non Standard reason for refusal**

The applicant has failed to provide a contribution towards the improvement of health, education and library facilities. The proposal therefore conflicts with R17 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012), Policies 3.17 and 3.18 the London Plan and the London Borough of Hillingdon Planning Obligations Supplementary Planning Document.

## **INFORMATIVES**

#### **1 I52 Compulsory Informative (1)**

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

#### **2 I53 Compulsory Informative (2)**

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
AM7	Consideration of traffic generated by proposed developments.
AM13	AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): - (i) Dial-a-ride and mobility bus services (ii) Shopmobility schemes (iii) Convenient parking spaces (iv) Design of road, footway, parking and pedestrian and street furniture schemes
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
OE1	Protection of the character and amenities of surrounding properties and the local area
MIN16	Waste recycling and disposal - encouragement of efficient and environmentally acceptable facilities
R16	Accessibility for elderly people, people with disabilities, women and children
LPP 3.5	(2011) Quality and design of housing developments
LPP 5.17	(2011) Waste capacity
LPP 6.13	(2011) Parking
LPP 7.2	(2011) An inclusive environment
LPP 7.4	(2011) Local character
NPPF	
SPG	Residential layouts and house design.

### 3

Prior to any future re-submission for a revised scheme the applicant is urged to review the practical capacity of the built-in and recycling storage facilities to the scheme.

### 4

Prior to any future re-submission a scaled plan should be submitted of the basement providing accurate details of the car parking bay layout showing all the supporting structural roof pillars that as built presently impede the car parking bays meeting the Council's space standards and which represent a departure from the previously approved basement car parking plan.

### 5

The owner should note the satellite dish and radio antennae fails to comply with permitted development contract to Part 25 Class Condition B.2 (a) "The antenna shall, so far as is practicable, be sited so as to minimise its effect on the external appearance of the building or structure on which it is installed". Failure to relocate the dish and

antennae to minimise the impact on the external appearance will necessitate investigation from the Planning Enforcement Team to seek its removal. Relocation onto the middle of the crown roof is liable to address this matter.

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The application site comprises the former Knights of Hillingdon (Florists), located on the corner of De Salis Road and Uxbridge Road. The site previously contained a three storey detached florist building with four flats above, and a plant nursery to the rear.

The site is 0.0962 hectares in area and is bordered by residential properties to the north and east of De Salis Road. Hillingdon Heath forms an area of open space directly to the east of the site and a three-storey office building known as Milupa House is located to the west

#### **3.2 Proposed Scheme**

The approved outline planning permission was granted on Appeal at 17 June 2010 (Ref 15407/APP/2009/1838) with landscaping the only Reserved Matter (that has been subsequently approved Ref 15407/APP/2010/2209) and is for a 246 sq.m ground floor medical centre and 12 residential units comprising 8 x 2 bed and 4 x 1 bed units. The scheme provided 20 off street car parking spaces, 18 located within a basement car park and with 2 surface level car parking bays intended for the medical centre (with a 3rd disabled car parking bay for the residential accommodation provided in the basement car park). The approved scheme provided pedestrian access to the health centre via Uxbridge Road, whereas level pedestrian access to the residential accommodation was via De Sails Road.

This current part retrospective application seeks no alterations to the number of residential units or to the number of bedrooms to each flat. The scheme involves minimal non-material changes to the internal layout of the residential flats and to the unbuilt out medical centre located at the ground floor.

The original ground level to maximum roof height of the built out scheme is within approximately 150mm of the approved scheme and the total footprint of the scheme is within 2sq.m of the approved scheme (notwithstanding the omission of the 2 disabled bay 'undercroft' parking bays.

The main external departures from the approved scheme as identified from the submitted drawings are:

- 1) The lift tower sitting flush with the surrounding wall as opposed to sitting proud of the rest of the rear wall of the scheme (thus not appearing as a distinct element as viewed in elevation);
- 2) The lift tower not being subservient (i.e. lower to the main roof of the building) with the lift tower roof serving the overrun with it rising 250mm above the top of the main crown roof to the building, as opposed to set down 500mm with a hipped roof form on the approved scheme.
- 3) The lift tower not having a rusticated finish treatment, as previously approved.



(4) The lift tower measured at eaves height departing from the approved drawings by being approximately 1.2m wider and with a more bulky roof form capping the lift tower.

5) The omission of the 2 ground level external disabled parking bays that were approved as recessed features in the rear elevation;

6) The omission of level pedestrian access to the flats from De Salis Road, with a substitute level pedestrian route (to date not built) proposed involving access from the front (Uxbridge Road) down the west flank side of the building then via a pedestrian bridge structure to the rear entrance door and lift to the residential component.

7) Three additional roof lights on the rear roof slope, plus the 2 roof lights in the flank roof slope facing towards Milupa House (an office block) being larger than was previously approved.

8) Additional Juliette balconies (purely decorative not capable of standing upon) to the obscured glazed window in the rear elevation.

### 3.3 Relevant Planning History

15407/APP/2009/1838 Knights Of Hillingdon Florists Uxbridge Road Hillingdon

Erection of new health centre and 12 residential units with ancillary car parking and landscaped amenity space (involving demolition of existing building) (Outline application for approval of access, appearance, layout and scale.)

**Decision:** 25-11-2009 Refused **Appeal:** 17-06-2010 Allowed

15407/APP/2010/1984 Knights Of Hillingdon Florists Uxbridge Road Hillingdon

Details pursuant to Condition 10 (Site Contamination) of the Secretary of State's Appeal Decision ref: APP/R5510/A/09/2119085 dated 17/06/2010 (LBH ref: 15407/APP/2009/1838): Erection of new health centre and 12 residential units with ancillary car parking and landscaped amenity space (involving demolition of existing building) (Outline application for approval of access, appearance, layout and scale.)

**Decision:** 18-05-2012 Approved

15407/APP/2010/2129 Knights Of Hillingdon Florists Uxbridge Road Hillingdon

Details in compliance with Conditions 9 (Cycle storage), 15 (Traffic arrangements) and 19 (Construction Management Plan) of the Secretary of State's Appeal Decision ref: APP/R5510/A/09/2119085 dated 17/06/2010: Erection of new health centre and 12 residential units with ancillary car parking and landscaped amenity space (involving demolition of existing building) (Outline application for approval of access, appearance, layout and scale.)

**Decision:** 28-03-2011 Approved

15407/APP/2010/2209 Knights Of Hillingdon Florists Uxbridge Road Hillingdon

Reserved matters (landscaping) in compliance with condition 2 of the Secretary of State's Appeal Decision ref: APP/R5510/A/09/2119085 dated 17/06/2010 (LBH ref: 15407/APP/2009/1838): Erection of new health centre and 12 residential units with ancillary car parking and landscaped amenity space (involving demolition of existing building).

**Decision:** 09-01-2013    Approved

15407/APP/2010/2436    Knights Of Hillingdon Florists Uxbridge Road Hillingdon

Details in compliance with conditions 5 (Ground Levels) and 16 (Energy Efficiency) of the Secretary of State's Appeal Decision ref: APP/R5510/A/09/2119085 dated 17/06/2010 (LBH ref: 15407/APP/2009/1838): Erection of new health centre and 12 residential units with ancillary car parking and landscaped amenity space (involving demolition of existing building) (Outline application for approval of access, appearance, layout and scale.)

**Decision:** 28-03-2011    Approved

15407/APP/2010/2445    Knights Of Hillingdon Florists Uxbridge Road Hillingdon

Details in compliance with condition 6 (materials) and 11 (Secured by Design) of the Secretary of State's Appeal Decision ref: APP/R5510/A/09/2119085 dated 17/06/2010 (LBH ref: 15407/APP/2009/1838 dated 28/08/2009): Erection of new health centre and 12 residential units with ancillary car parking and landscaped amenity space (involving demolition of existing building) (Outline application for approval of access, appearance, layout and scale.)

**Decision:** 03-06-2011    Approved

15407/APP/2010/2542    Knights Of Hillingdon Florists Uxbridge Road Hillingdon

Details in compliance of Conditions 7 (balconies) and 20 (basement access ramp) of the Secretary of State's Appeal Decision Ref: APP/R5510/A/09/ 2119085 dated 17/06/2010: Erection of new health centre and 12 residential units with ancillary car parking and landscaped amenity space (involving demolition of existing building) (Outline application for approval of access, appearance, layout and scale.)

**Decision:** 19-01-2011    Approved

15407/APP/2013/972    Knights Of Hillingdon Florists Uxbridge Road Hillingdon

Details in compliance with conditions 17 (Sustainable Urban Drainage) of the Secretary of State's Appeal Decision ref: APP/R5510/A/09/2119085 dated 17/06/2010 (LBH ref: 15407/APP/2009/1838): Erection of new health centre and 12 residential units with ancillary car parking and landscaped amenity space (involving demolition of existing building) (Outline application for approval of access, appearance, layout and scale.)

**Decision:** 10-06-2013    Approved

#### **Comment on Relevant Planning History**

Relevant planning history provided above in section 3.2

#### **4. Planning Policies and Standards**

#### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.BE1 (2012) Built Environment  
PT1.C11 (2012) Community Infrastructure Provision

Part 2 Policies:

- BE13 New development must harmonise with the existing street scene.  
BE15 Alterations and extensions to existing buildings  
BE19 New development must improve or complement the character of the area.  
BE20 Daylight and sunlight considerations.  
AM7 Consideration of traffic generated by proposed developments.  
AM13 AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): -  
(i) Dial-a-ride and mobility bus services  
(ii) Shopmobility schemes  
(iii) Convenient parking spaces  
(iv) Design of road, footway, parking and pedestrian and street furniture schemes  
AM14 New development and car parking standards.  
AM15 Provision of reserved parking spaces for disabled persons  
OE1 Protection of the character and amenities of surrounding properties and the local area  
MIN16 Waste recycling and disposal - encouragement of efficient and environmentally acceptable facilities  
R16 Accessibility for elderly people, people with disabilities, women and children  
LPP 3.5 (2011) Quality and design of housing developments  
LPP 5.17 (2011) Waste capacity  
LPP 6.13 (2011) Parking  
LPP 7.2 (2011) An inclusive environment  
LPP 7.4 (2011) Local character  
NPPF  
SPG Residential layouts and house design.

## 5. Advertisement and Site Notice

- 5.1 Advertisement Expiry Date:- **2nd July 2013**  
5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

The application was advertised in a local paper, a site notice was posted and 80 neighbouring owner/occupiers were consulted on the proposal.

Two written responses were received. Both were letters of objection. The concerns raised can be summarised as follows:

- 1) Surely the development was subject to regular reviews to ensure the building was erected in accordance with the strict terms and conditions as stipulated by the Secretary of State. In view of the breaches presented to original planning terms, should the matter not be referred back to the secretary of state to deal with?
- 2) The residents remain seriously concerned that the ground floor will not be used as a medical centre and we need reassurances that no change of use will be permitted for the ground floor area.
- 3) The developer, at original planning was adamant that a medical centre was planned and it was on this basis that an overdevelopment of the site was approved by the Secretary of State.
- 4) We are looking for the support of the council and secretary of state to protect the interests of the residents here as we remain very concerned regarding not only the blatant breaches to planning which have occurred but also to what is happening to the ground floor.
- 5) Strict actions need to be taken here to combat the ongoing issues at the site.
- 6) There are no plans showing parking space relocation or whether all 18 planned parking spaces are still available, i.e. where are the 6 medical centre spaces and are there still sufficient disabled parking spaces? If they are not available, road parking will be a problem.
- 7) Wheelchair residents will have to travel right round the outside of the building to access the bin store, which is not really acceptable. If there is a basement fire, wheelchair residents will have to cross the basement entrance and may be exposed to risk of harm - smoke and/or flame

#### **Internal Consultees**

INTERNAL:

ACCESS OFFICER:

There appears to be no changes to the front elevation affecting accessibility when comparing the plans approved at appeal and the plans pertaining to this retrospective planning application. Ramped access was approved for the front entrance, and the latest plans appear to show identical specifications.

In terms of access to the accessible parking spaces and the amenity area at the rear, changes are noted. The plans approved at appeal show a gradient of 1:20 from the accessible parking spaces to a level entrance that leads into the building. A similar arrangement was to be provided from the rear entrance down to the amenity area via a ramp descending to the north-west boundary. It is considered that this would have achieved an acceptable standard of access had it been possible to construct.

However, given the differences in level at the rear, it has proven not possible to achieve the desired gradient leading from the accessible car parking to the building's rear entrance. The retrospective plans of the building, as constructed, show that the surface level accessible parking bays, included as part of the approved scheme, have been omitted. Given the building's ground floor was approved as a medical centre, accessible parking is considered to be paramount to ensure that the principles of inclusion can be achieved.

Any vehicle height barrier should provide a vertical clearance on level ground of 2.6 m from the

carriageway to allow the passage of a high-top conversion vehicle. Alternatively, a facility should exist whereby the user of a high-top conversion can make arrangements to pass through the barrier.

The vertical clearance of 2.6 m should be maintained from the entrance of the car park to (and including) the designated parking spaces and exits from those spaces. The effect of driving a long wheelbase vehicle over any humps or onto a slope should be taken into account when checking the effective vertical clearance. Height restrictions should be clearly signposted, at a point before drivers begin to enter the car park. For existing car parks, if it is not feasible to maintain the recommended vertical clearance along the route, there should be directions to suitable alternative designated parking spaces.

Hillingdon's adopted 'Accessible Hillingdon Supplementary Planning Document specifies a high clearance for car parking in 'public' environments, however, within the housing section, it does ask for a minimum of 2.2 m. The two ground level parking spaces originally shown, were logically allocated to the medical centre. There is every likelihood that disabled people with complex impairments would visit a medical centre, and many of those would arrive in a semi-hightop vehicle which could not be accommodated in a more standard 2.2 m high car park.

The ramp bridge leading from the rear entrance to the amenity area should provide a minimum ramp surface width of 1.5 m. Drawing No: 1021-P-310 indicates that the ramp surface is approximately 1 m wide, which would be unacceptable in planning terms, even if Building Regulations have been satisfied.

Provided the following two provisions can be clarified and are found to be acceptable following re-evaluation, no objection would be raised from an accessibility standpoint:

1. The development, as constructed, shall provide a minimum of 10% accessible parking bays in accordance with policy AM15 (Hillingdon Local Plan: Part 2 Policies). If these are to be provided within the basement car park, the parking area should ensure a minimum height clearance of 2.6 m to cater for high sided accessible vehicles. The parking should rightly be provided at surface level to ensure that the development concurs with inclusive design principles.

2. The bridge link ramp must comply with Approved Document M to the building regulations, and confirmation of the same should be submitted to ensure the correct width, gradient and flight length.

Conclusion: no objection would be raised provided the issues raised in points one and two above can be confirmed as acceptable.

URBAN DESIGN OFFICER:

Having considered the structure as built, there are some differences from the approved plans. Some, such as the window proportions and detailing appear to be an improvement on the agreed scheme and the changes to the roof form appear to make very little difference to the overall appearance of the building. The lift enclosure as built, however, is taller and generally more bulky in appearance than that approved. It appears as a visually discordant element and poorly integrated with the architecture of the rear elevation. It could, however, be improved if it were clad vertically (covering the same area as the original rustication), perhaps with panelling in a grey colour, to break up its bulk. This could also be integrated with a better detailed entrance foyer and a larger canopy, which would create a feature at ground floor and draw the eye from the lift enclosure above.

HIGHWAY ENGINEER:

The scheme provides inadequate disabled car parking provision to the Medical Centre (D1). Although no Transport Statement accompanies this current application, the Transport Statement submitted with the original approval (5407/APP/2009/1838) provided for 20 parking spaces in total, allocating 11 car spaces for the residential units and 9 spaces for the medical centre. This included 3 disabled car parking spaces, 2 of which would be on the ground floor.

The above mentioned Transport Statement considered peak demand for a medical clinic of 7 car parking bays and 9 for a GP surgery. This assessment of the necessary parking provision was accepted as satisfactory by the Council's Highway Engineer at the time of the original application and subsequently by the Planning Inspector.

Notwithstanding the car parking provision for the D1 Use would short fall by 2 car parking spaces, as assessed for a GP surgery (as opposed to a medical centre), it is not considered this shortfall provides a reason to object to the scheme. However, the loss of the two disabled parking bays at ground floor level for the proposed D1 use remains a cause for concern. It would not be possible to provide these at basement level, given the inadequate head height into the basement car park (minimum 2.6m required and approximately 2.2m clearance provided). The proposal is therefore unacceptable and contrary to relevant planning policy.

#### PLANNING OBLIGATIONS:

There is a Unilateral Undertaking over the land dated 22 February 2010.

If you are minded to approve this scheme then a Deed of Variation to this agreement to align the new planning reference, if approved.

Note that to date the Unilateral Undertaking has not been met and the agent and owner have been contacted to look to rectify this matter, as they are in breach of the Unilateral Undertaking at this time.

### **7. MAIN PLANNING ISSUES**

#### **7.01 The principle of the development**

The principle of the development has been previously established, as evidenced with the original approved scheme (15407/APP/2009/1838).

#### **7.02 Density of the proposed development**

The density of the residential scheme has already been established and this revised scheme has no impact upon aspect of the scheme.

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The site does not lie in proximity to any listed buildings, a conservation area, or an area of Special Local Character. The site is also not located within an archaeological priority area.

#### **7.04 Airport safeguarding**

Not applicable to this variation of condition application.

#### **7.05 Impact on the green belt**

The site is not located in proximity to any land designated as Green Belt.

#### **7.06 Environmental Impact**

Not applicable to this variation of condition application.

#### **7.07 Impact on the character & appearance of the area**

Policies BE13 and BE19 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) requires that new development within residential areas complement the character and appearance of the area.

There are minimal external alterations to the approved scheme in respect to the front and side elevations of the scheme. Whilst the finished fenestration arrangement on the residential upper floors do not accord exactly with the previously approved drawings it is not considered these changes would have an adverse impact on the architectural integrity of the scheme or upon the general character and appearance of an area, once the previously approved balconies and Juliet balconies are in situ.

In terms of the general main roof the departures from the approved scheme are more significant with additional roof light windows and a larger expanse of raised [crown] flat roof. Nevertheless, these departures when viewed on site and as reflected in this current application, are not considered to provide any undue adverse impact in terms of the overall bulk of the roof form as viewed from the 2 adjacent streets to the site and therefore do not provide a reason for refusal.

The approved scheme contained a lift tower with a its well proportioned width, part rusticated finish treatment and a roof profile (set 500mm below the main roof of the development), that combined to provide a building element that 'read' harmoniously and subserviently with the remainder of the back elevation of the approved scheme.

The current scheme (as built and shown on the submitted drawings) provides a lift tower of greater width, capped with a heavier roof form, and of greater overall height (siting 250mm above the main roof of the development) and without a rusticated finish treatment compared to the approved scheme. All these described elements of the built lift tower combine to produce an incongruous built element that sits uncomfortably on the back elevation of the scheme and as such fails to be a subservient building feature. This part of the development therefore detracts from the character and visual amenity of De Salis Road. As such it is considered this aspect of the scheme is contrary to Hillingdon Local Plan: Part One (November 2012) Policy BE1, Policies BE13 and BE19 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012), Policies 3.5 and 7.4 of the London Plan and the adopted Supplementary Planning Document HDAS: Residential Layouts.

#### **7.08 Impact on neighbours**

The 3 additional and 2 larger roof lights situated in the roof slopes (compared to the approved scheme) are all contained within roof slopes which have approved roof lights. The additional roof lights are not set nearer to neighbouring properties than the previously approved roof lights. Therefore these deviations from the approved scheme are not considered to have any adverse impact to neighbours.

#### **7.09 Living conditions for future occupiers**

The alterations to the scheme involve minimal changes to the internal layout of the individual residential flats.

As such the scheme retains appropriate living conditions for future occupiers that accord with relevant Council planning policies, Supplementary Planning Guidance and the London Plan.

#### **7.10 Traffic impact, Car/cycle parking, pedestrian safety**

The matter of disabled car parking provision is dealt with in section 7.12 of the report. However the loss of 2 car parking bays allocated for disabled use from the scheme is not considered by the Highway Engineer to warrant an additional reason of refusal in respect to an unacceptable stress being placed to on street car parking on the surrounding road network.

#### **7.11 Urban design, access and security**

URBAN DESIGN: Dealt with in section 7.07 of the report.

ACCESS: Dealt with in section 7.12 of the report.

SECURITY: The proposed alterations within this scheme, from the approved scheme, raise no undue adverse security issues notwithstanding the requirement for pedestrians who require level access to the residential component from the street would have to walk down the 'blank' flank west elevation of the wall.

## **7.12 Disabled access**

Planning Policies R16, AM13 and AM15 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) are relevant to consideration of disabled access to the scheme and their content are laid out below:

Policy R16 states "The local planning authority will only permit proposals for shops, business uses, services, community and other facilities open to the public if they include adequate provision for accessibility, in particular those of elderly people, people with disabilities, women and children where appropriate to the scale and nature of the development proposed, new development should include:-

- (i) safe and convenient access by public and private transport and on foot;
- (ii) safe and convenient means of physical access to all floors;
- (iii) facilities for child and baby care accessible for male and female carers; and
- (iv) toilets accessible to people with disabilities;
- (v) and have regard to the measures set out in policies AM13 and R17."

Policy AM13 "The local planning authority will seek to ensure that proposals for development increase ease and spontaneity of movement for elderly people, the frail and people with disabilities."

Policy AM15 states "All car parks provided for new development shall contain conveniently located reserved spaces for disabled persons in accordance with the council's adopted car parking standards".

The current scheme differs from the approved scheme in 3 key aspects in respect to the general accessibility of the scheme arising from:

- (a) the omission of 2 accessible car parking bays located at ground level intended for the medical centre and
- (b) the loss of the direct level pedestrian access from the residential stairwell/lift tower to De Sallis Road.
- (c) The scheme lacks convenient pedestrian access to the refuse bins from the entrance to the residential development. There is a walk of approximately 60 metres for occupants of the residential units, including wheelchair users.

The omission of the 2 car (previously approved) accessible car parking bays leaves the current scheme with only 1 accessible car parking bay, located in the basement car park. As built the basement provides approximately 2.2m vertical clearance for vehicles to enter into the basement car parking. This clearance height is not consistent with standards for accessible car parking provision within residential units.



However for schemes serving a general public use facility, such as a D1 medical centre, both the relevant British Standard 8300:2009 (section 4.4.3) and the Council's own adopted "Accessible Hillingdon" Supplementary Planning Document require vertical clearance of 2.6m to meet the needs of high sided cars designed for holding a wheelchair.

Without the necessary 2.6m vertical clearance, the basement car park fails to offer an opportunity to serve as an acceptable substitute location for the accessible car parking to meet the needs of a medical centre. Therefore the scheme fails to comply with the relevant planning policies.

In the absence of direct pedestrian level access from the door entrance to De Salis Road (as previously approved) the current scheme proposes an alternative level access route, which is more circuitous, and is from Uxbridge Road involving a 'bridge link to the rear of the building over a vehicle ramp, serving the basement car park. The submitted drawing shows the bridge link as being approximately 1m wide, which is not consistent with either Part M (accessibility) of the Building Regulations or with the Council's Adopted Accessible Hillingdon Supplementary Planning Document.

The scheme demands residents who require level access to walk over 50 metres, around 3 sides of the building, from the residential entrance door to the communal refuse and recycling store. The proposed route for wheelchair occupiers and other residents with mobility issues to reach the residential bin store would be excessive and is unacceptable, contrary to Section 6.8.9 of Manual for Streets and Policy 5.17 of the London Plan.

Accordingly in view of the above considerations the scheme fails to comply with Policies R16, AM13, AM15 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012), London Plan Policies 5.17, 6.2 and 7.2 and is also not consistent with current equalities legislation ((Equalities Act 2010) or Paragraph 6.8.9 of Manual for Streets.

#### **7.13 Provision of affordable & special needs housing**

Not applicable as this current scheme involves no changes in this respect from the approved scheme, namely no provision of affordable housing required.

#### **7.14 Trees, landscaping and Ecology**

Not applicable as the current scheme involves no alterations to the approved landscaping scheme for the site and which is controlled by planning condition.

#### **7.15 Sustainable waste management**

Policy 5.16 of the London Plan requires that all new development provide adequate space for the storage of waste and recycling.

The previously approved scheme incorporate two integrated bin stores accessed from De Salis Road of approximately 60sqm in total floor area, that allows one to be provided for the medical centre and the other for the residential units each with capacity to store four 1100 litre bins, each with level access to the street.

The current scheme slight relocates the 2 integrated bin stores, they would retain level access to the street of approximately 54 sqm and have a net floor of approximately 54 sqm providing space for four 1100 litre bins in one unit and two 1100 litre bins in the other.

The reduction in the waste provision is not ideal, however the Council has no policies or guidance relating to the number of bins required for non residential users and it is generally for commercial occupiers to meet their needs through a combination of storage capacity and collection frequency. Accordingly it is not considered this change is sufficient to warrant refusal. However an informative is added encouraging the applicant to

review the refuse provision.

**7.16 Renewable energy / Sustainability**

Not applicable to this variation of condition application.

**7.17 Flooding or Drainage Issues**

Not applicable to this variation of condition application.

**7.18 Noise or Air Quality Issues**

Not applicable to this variation of condition application.

**7.19 Comments on Public Consultations**

CASE OFFICE RESPONSE:

With regard to Point 1 the Planning Inspector and Secretary of State do not involve themselves with breaches of planning control.

With regard to Points 2 and 3 and 4, the observation is noted, however is not material to this application that would retain the ground floor for medical centre use. Any future change of use to the ground floor would be the matter of a separate planning application and would be assessed on its merits.

With regard to Point 5 the current application follows investigation by the Council's Planning Enforcement Team.

With regard to Point 6 it is a matter dealt with elsewhere in the body of the report

With regard to Point 7 and the issue of ease of access to the refuse store, this is dealt with elsewhere in the body of the report. The issue of smoke and fire control is not a planning consideration but a matter for building control and the London Fire Brigade.

**7.20 Planning obligations**

Were the scheme to be approved a Deed of Variation to the existing section 106 would be required to transfer across the existing legal obligations.

To date the planning obligations have not been met. The financial obligations were due 12 months after the commencement of the scheme. 12 months has lapsed since commencement of the scheme.

**7.21 Expediency of enforcement action**

As no legal agreement is in place with respect to the current application and no obligations have been met the scheme should be refused.

**7.22 Other Issues**

None.

**8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales.

The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached. Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

#### **9. Observations of the Director of Finance**

Not applicable.

#### **10. CONCLUSION**

The application seeks to regularise a series of departures from the approved scheme and which have been built out on site.

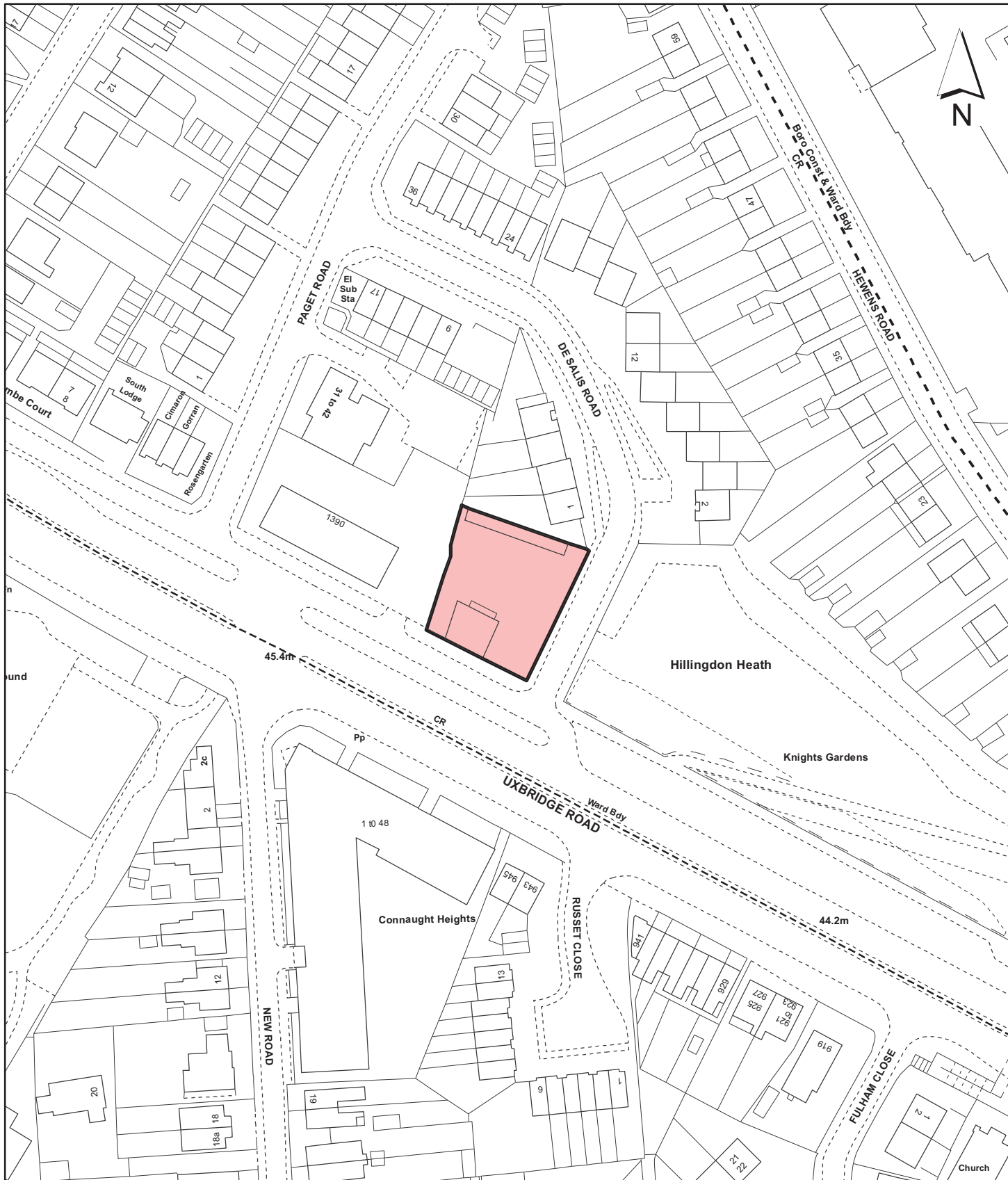
A number of the departures from the approved scheme such as a larger crown roof containing more roof lights and subtle changes in the treatment of the elevations are not considered to provide cause for concern in respect to visual amenity, impact upon neighbours or upon the adequacy of the accommodation/users for future occupants of the scheme. However, there are 3 aspects of the current proposed scheme (as built) that are considered unacceptable and contrary to adopted planning policy and guidance, namely (i) the external appearance of the lift tower that represents an incongruous element detrimental to the appearance of the building and the general character of the area, (ii) the failure to provide useable level pedestrian access to the residential flat from the street and (iii) the failure to provide any accessible car parking provision for the D1 use. As such the scheme is sub-standard, contrary to relevant planning policies and therefore recommended for refusal.

#### **11. Reference Documents**

Hillingdon Local Plan: Part One (November 2012)  
Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)  
Hillingdon's HDAS 'Residential Layout' Supplementary Planning Document (July 2006)  
Hillingdon's HDAS 'Accessible Hillingdon' Supplementary Planning Document (May 2013)  
British standard 8300:2009  
National Planning Policy Framework (March 2012)  
London Plan (July 2011)  
Manual for Streets

**Contact Officer:** Gareth Gwynne

**Telephone No:** 01895 250230



**Notes**

 Site boundary

For identification purposes only.  
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Site Address

**Knights of Hillingdon Florists  
 Uxbridge Road  
 Hillingdon**

Planning Application Ref:  
**15407/APP/2013/1170**

Planning Committee  
**Major Applications**

Scale  
**1:1,250**

Date  
**July 2013**

**LONDON BOROUGH  
 OF HILLINGDON  
 Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111



**HILLINGDON**  
 LONDON

## Report of the Head of Planning, Sport and Green Spaces

**Address** FORMER RAF UXBRIDGE HILLINGDON ROAD UXBRIDGE

**Development:** Reserved matters (appearance, layout, scale and landscaping) in compliance with conditions 2 and 3 for Phase 1, Seventh Application (Eastern Side of District Park) of planning permission ref: 585/APP/2009/2752 dated 18/01/2012 for the proposed mixed-use redevelopment of St Andrews Park (Former RAF Uxbridge site).

**LBH Ref Nos:** 585/APP/2013/979

**Drawing Nos:** 2152-DP-LA-01 Rev C  
2152-DP-LA-05  
2152-DP-DT-02 Rev A  
2152-DP-DT-03 Rev B  
2152-DP-TS-01 Rev A  
2152-IM-04 Rev A  
Design and Access Statement - 2152-DP-DAS-01\_LB (March 2013)  
Landscape Specification - 2152-DP-SP-01 (March 2013)  
Landscape Management Specification - 2152-RE-12 Rev A (April 2013)

**Date Plans Received:** 18/04/2013                      **Date(s) of Amendment(s):**  
**Date Application Valid:** 18/04/2013

### 1. SUMMARY

The application seeks to discharge the reserved matters relating to Layout, Scale, Appearance and Landscaping for the seventh application of Phase 1 for the creation of the eastern side of the District Park within the site.

The application site forms part of St Andrews Park (the former RAF Uxbridge Site), for which outline consent was granted under application reference 585/APP/2009/2752 for a residential led, mixed-use development.

The Reserved Matters application relates to a 4 hectare plot of land, located to the north east of the St Andrews Park Site. The application site is bordered by the River Pinn to the west, and Phases 1A and B to the east.

The District Park is an existing area of open parkland and woodland, bisected by the River Pinn, and will provide 14 hectares of public open space for residents and visitors. The park is to be developed in two phases, the first as part of Phase 1 of the development of the site, and the second as part of Phase 3. The park as a whole will provide sports pitches and play opportunities as part of future phases of the development.

This area of park has been designed in accordance with the parameter plans and Landscape and Open Space Strategy approved at outline stage. The proposed landscaping would have a positive impact on the character and appearance of the surrounding area, in accordance with the vision of the approved design code. Therefore, it is recommended that the application be approved.

### 2. RECOMMENDATION

**APPROVAL subject to the following:**

**1 COM4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 2152-DP-LA-01 Rev C, 2152-DP-LA-05, 2152-DP-DT-02 Rev A, 2152-DP-DT-03 Rev B, 2152-DP-TS-01 Rev A, 2152-IM-04 Rev A, and shall thereafter be retained/maintained for as long as the development remains in existence.

**REASON**

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

**2 COM5 General compliance with supporting documentation**

The development hereby permitted shall be carried out in accordance with the specified supporting plans and/or documents:

Design and Access Statement - 2152-DP-DAS-01\_LB (March 2013)

Landscape Specification - 2152-DP-SP-01 (March 2013)

Landscape Management Specification - 2152-RE-12 Rev A (April 2013)

Thereafter the development shall be retained/maintained in accordance with these details for as long as the development remains in existence

**REASON**

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

**INFORMATIVES**

**1 I52 Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

**2 I53 Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM8	Priority consideration to pedestrians in the design and implementation of road construction and traffic management schemes
BE13	New development must harmonise with the existing street scene.
BE18	Design considerations - pedestrian security and safety

BE19	New development must improve or complement the character of the area.
BE23	Requires the provision of adequate amenity space.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE7	Development in areas likely to flooding - requirement for flood protection measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL2	Green Belt -landscaping improvements
>>	London Plan (2011) Policies
LPP 2.6	(2011) Outer London: vision and strategy
LPP 3.6	(2011) Children and young people's play and informal recreation (strategies) facilities
LPP 3.7	(2011) Large residential developments
LPP 5.12	(2011) Flood risk management
LPP 5.13	(2011) Sustainable drainage
LPP 6.1	(2011) Strategic Approach
LPP 6.9	(2011) Cycling
LPP 6.10	(2011) Walking
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment
LPP 7.4	(2011) Local character
LPP 7.5	(2011) Public realm
LPP 7.16	(2011) Green Belt
LPP 7.18	(2011) Protecting local open space and addressing local deficiency
LPP 7.21	(2011) Trees and woodland

### **3            I1            Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

## **3.    CONSIDERATIONS**

### **3.1    Site and Locality**

The application site forms part of St Andrews Park (the former RAF Uxbridge Site), for which outline consent was granted under application reference 585/APP/2009/2752 for a residential led, mixed-use development.

The Reserved Matters application relates to a 4 hectare plot of land, located to the north east of the St Andrews Park Site. The application site is bordered by the River Pinn to the west, and Phases 1A and B to the east. The District Park is an existing area of open parkland and woodland, bisected by the River Pinn, and will provide 14 hectares of public open space for residents and visitors. The park is to be developed in two phases, the first

as part of Phase 1 of the development of the site, and the second as part of Phase 3.

The area surrounding the site is predominately residential, both existing and proposed, and comprises a combination of 3 - 4 storey apartment blocks and two and three storey terraced and semi-detached housing.

The site is situated within the Green Belt.

### **3.2 Proposed Scheme**

The application seeks to discharge the reserved matters relating to Layout, Scale, Appearance and Landscaping for the seventh application of Phase 1 for the creation of the eastern side of the District Park within the site.

The Reserved Matters application relates to a 4 hectare plot of land, located to the north east of the St Andrews Park Site. The application site is bordered by the River Pinn to the west, and Phases 1A and B to the east.

The District Park is an existing area of open parkland and woodland, bisected by the River Pinn, and will provide 14 hectares of public open space for residents and visitors. The park is to be developed in two phases, the first as part of Phase 1 of the development of the site, and the second as part of Phase 3. The park as a whole will provide sports pitches and play opportunities as part of future phases of the development.

The application involves the retention of the naturally terraced open area between Hillingdon House and the river, with the existing footpaths re-instated. Also included is limited new tree planting, the provision of an attenuation basin on the lower slopes of the grass terrace, with two areas of lower land for temporary localised water storage. Ecological enhancements, including the creation of log piles and installation of bird and bat boxes are also proposed. Street furniture, including interpretation boards, signage, seating and dog bins would also be installed. The existing vegetation types are generally to be retained, with the under storey in the woodland managed and maintained to benefit wildlife and discourage public access.

### **3.3 Relevant Planning History**

#### **Comment on Relevant Planning History**

Planning permission was approved on 18th January 2012 under application reference 585/APP/2009/2752 for the following:

1. Outline application (all matters reserved, except for access) including demolition of some existing buildings and:
  - a. Creation of up to 1,296 residential dwellings (Class C3) of between 2 to 6 residential storeys;
  - b. Creation of up to 77 one-bedroom assisted living retirement accommodation of between 3 to 4 storeys;
  - c. Creation of a three-form entry primary school of 2 storeys;
  - d. Creation of a hotel (Class C1) of 5 storeys of up to 90 beds;
  - e. Creation of a 1,200 seat theatre with ancillary cafe (Sui Generis); office (Class B1a) of up to 13,860 sq m; in buildings of between 4 to 6 storeys as well as a tower element associated with the theatre of up to 30m;
  - f. Creation of a local centre to provide up to 150 sq m of retail (Class A1 and A2) and 225 sq m GP surgery (Class D1); means of access and improvements to pedestrian linkages to the Uxbridge Town Centre; car parking; provision of public open space including a



district park; landscaping; sustainable infrastructure and servicing.

2. In addition to the above, full planning permission for:

- a. Creation of 28 residential dwellings (Class C3) to the north of Hillingdon House of between 2 to 3 storeys as well as associated amenity space and car parking;
- b. Change of use of Lawrence House (Building no. 109) to provide 4 dwellings (Class C3), associated amenity space and car parking including a separate freestanding garage;
- c. Change of use and alterations to the Carpenters building to provide 1 residential dwelling (Class C3);
- d. Change of use and alterations to the Sick Quarters (Building No. 91) to provide 4 dwellings (Class C3) as well as associated amenity space and car parking;
- e. Change of use of Mons barrack block (Building No. 146A) to provide 7 dwellings (Class C3) as well as associated amenity space and car parking;
- f. Change of use of the Grade II listed former cinema building to provide 600sq m Class D1/2 use (no building works proposed);
- g. Change of use and alterations to the Grade II listed Hillingdon House to provide 600 sq m for a restaurant (Class A3) on the ground floor and 1,500 sq m of office (Class B1) on the ground, first and second floors.

Since the approval the applicant has discharged a number of the pre-commencement and other conditions attached to the permission relating to the application site.

#### **4. Planning Policies and Standards**

Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012)  
Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012)  
London Plan (July 2011)  
National Planning Policy Framework  
Hillingdon Supplementary Planning Document - Residential Layouts  
Hillingdon Supplementary Planning Document - Accessible Hillingdon  
Hillingdon Supplementary Planning Document - Noise  
Hillingdon Supplementary Planning Document - Planning Obligations  
Hillingdon Supplementary Planning Guidance - Community Safety by Design  
Hillingdon Supplementary Planning Guidance - Land Contamination

#### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- |         |  |
|---------|--|
| PT1.BE1 | (2012) Built Environment                                   |
| PT1.CI2 | (2012) Leisure and Recreation                              |
| PT1.EM2 | (2012) Green Belt, Metropolitan Open Land and Green Chains |
| PT1.EM4 | (2012) Open Space and Informal Recreation                  |
| PT1.EM5 | (2012) Sport and Leisure                                   |
| PT1.EM6 | (2012) Flood Risk Management                               |
| PT1.EM7 | (2012) Biodiversity and Geological Conservation            |

PT1.T1 (2012) Accessible Local Destinations

Part 2 Policies:

AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM8	Priority consideration to pedestrians in the design and implementation of road construction and traffic management schemes
BE13	New development must harmonise with the existing street scene.
BE18	Design considerations - pedestrian security and safety
BE19	New development must improve or complement the character of the area.
BE23	Requires the provision of adequate amenity space.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE7	Development in areas likely to flooding - requirement for flood protection measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL2	Green Belt -landscaping improvements
>>	London Plan (2011) Policies
LPP 2.6	(2011) Outer London: vision and strategy
LPP 3.6	(2011) Children and young people's play and informal recreation (strategies) facilities
LPP 3.7	(2011) Large residential developments
LPP 5.12	(2011) Flood risk management
LPP 5.13	(2011) Sustainable drainage
LPP 6.1	(2011) Strategic Approach
LPP 6.9	(2011) Cycling
LPP 6.10	(2011) Walking
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment
LPP 7.4	(2011) Local character
LPP 7.5	(2011) Public realm
LPP 7.16	(2011) Green Belt
LPP 7.18	(2011) Protecting local open space and addressing local deficiency
LPP 7.21	(2011) Trees and woodland

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- **15th May 2013**

**5.2** Site Notice Expiry Date:- **22nd May 2013**

## **6. Consultations**

### **External Consultees**

Consultation letters were sent to 58 local owner/occupiers on 24/04/2013. The application was also advertised by way of site and press notices. No responses have been received.

#### **ENVIRONMENT AGENCY:**

Provided that the reserved matters do not impact upon the floodplain compensation storage or the buffer strip approved under application 585/APP/2009/2752, we have no objections to this application.

Annex B of the Thames River Basin Management Plan describes the River Pinn as a heavily modified watercourse and currently at 'moderate' status. We would welcome bank enhancements and measures to allow the natural flow of the river to keep the channel clear and maintain a suitably natural river profile.

Any opportunities to improve the status of the watercourse under the Water Framework Directive should be explored. For example we would encourage the removal of artificial bank reinforcements or structures to help the river return to a more natural state and improve the river habitat as well as options to further enhance the river corridor, such as backwaters and ponds.

#### **NATURAL ENGLAND:**

Natural England is a non-departmental public body. Our statutory purpose is to ensure that the natural environment is conserved, enhanced, and managed for the benefit of present and future generations, thereby contributing to sustainable development. Natural England has previously commented on this proposal and made comments to the authority in our letter dated 01 February 2013.

The advice provided in our previous response applies equally to this application although we made no objection to the original proposal.

Should the proposal be amended in a way which significantly affects its impact on the natural environment then, in accordance with Section 4 of the Natural Environment and Rural Communities Act 2006, Natural England should be consulted again.

### **Internal Consultees**

#### **TREE/LANDSCAPE OFFICER:**

The Design & Access Statement, by Allen Pyke Associates, describes the District Park and the design principles and concepts behind the proposed work. The D&AS confirms (3.2) that the naturally terraced open area between Hillingdon House and the river is to be retained with existing footpaths re-instated. The existing vegetation types are generally to be retained, with the under storey in the woodland managed / maintained to benefit wildlife and discourage public access. Other 'development', described in 3.3, includes:

- limited new tree planting,
- the provision of an attenuation basin on the lower slopes of the grass terrace, with two areas of

lower land for temporary localised water storage,

- other ecological enhancements include the creation of log piles and installation of bird and bat boxes,
- the D&AS includes illustrative details of street furniture, including interpretation boards, signage, seating and dog bins. These illustrations are not particularly attractive and it is not clear whether Green Spaces have specified, or approved the use of these products.

Allen Pyke's drawing No. 2152-DP-LA-01 Rev A, Phase 1 Landscape Proposals provides a plan of the existing site with the proposed hard and soft landscape features incorporated.

Allen Pyke's Landscape Specification District Park (District Park, Phase 1) provides detailed specifications for soft works (planting) using NBS clauses (industry standard). There are no specification or construction details for the hard landscape details or installations.

Allen Pyke's Landscape Management Specification (District Park, Phase 1) sets out the general management objectives for the site (section 3), provides maintenance details (section 4) with general principles and specific items and lists some specific operations and key operations (section 5). Some specific details have been omitted from section 5,- tree safety inspections, footpath maintenance (topping up), invasive weed control, litter collection.

The submission is supported by a Tree Constraints Plan, Allen Pyke drawing No. 2152-DP-TS-01 Rev A, a detail of the existing sleeper steps to the Leigh Mallory Bridge, (drawing No. 2152-DP-DT-02 Rev A), and a Timber Pond dipping Platform and board walk (drawing No. 2152-DP-DT-03 Rev A).

#### RECOMMENDATIONS:

- Details of the storm water drainage inlet / outlet between Hillingdon House and the river have yet to be submitted. This detail should be both functional and of acceptable appearance. Cross-sections through the adjusted contours and the outlet are required to ensure that the detail is safe and it's appearance is acceptable. Details of the associated planting should be specified for approval.
- There is no indication on plan of which invasive weeds are present or where they are, and what treatment they are undergoing to control them.
- During a pre-application site meeting, discussion took place about the need to paint / restore the Leigh Mallory Bridge railings. In 3.2 of the D&AS the report states that the bridges fall outside the scope of this application. Clarification is required regarding how and when this detail will be addressed.
- The appearance and specification of street furniture and amenities, as illustrated in the D&AS require is not acceptable. Further consultation with Green Spaces team is required. Product details / construction details have yet to be agreed.
- Construction details and specifications are required for the hard landscape works (paths, street furniture etc). Lighting and signage are indicated on plan although the product details have yet to be specified.
- The management / maintenance specification should be more comprehensive. It would be helpful to have a summary of operations and frequencies in tabular form.

Officer Comment:

Revised details have been received that address the Tree and Landscape Officer's concerns.

## CONSERVATION AND URBAN DESIGN:

No comments to make on the application.

## FLOOD AND WATER MANAGEMENT OFFICER:

Floodplain and drainage issues were overcome at the outline application stage.

### **7. MAIN PLANNING ISSUES**

#### **7.01 The principle of the development**

The development of the District Park was approved as part of the outline consent for the redevelopment of St Andrews Park. The park is proposed in accordance with the approved parameter plan and landscape strategy and no objection is raised to the principle of the development.

#### **7.02 Density of the proposed development**

Not applicable to this application.

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

Not applicable to this application.

#### **7.04 Airport safeguarding**

Only minor structures are proposed as part of this development. As such, no safeguarding issues would arise.

#### **7.05 Impact on the green belt**

This portion of the site is located within the Green Belt. The fundamental aim of the NPPF in relation to Green Belt is to prevent urban sprawl by keeping land permanently open; the most important attribute of Green Belts is their openness. Policy OL1 of the Hillingdon UDP specifies that there is a presumption against inappropriate development. The proposed development is not considered inappropriate as it maintains the openness of the Green Belt and proposes open recreational space.

The application is for works to create a District Park, on the location of a current area of open space. As such, no buildings are involved, and the development would therefore not impact on the openness of the Green Belt. The works will improve the site, and will improve the visual amenity of the area. As the proposal does not involve any buildings, the development is considered to comply with Green Belt policies.

#### **7.07 Impact on the character & appearance of the area**

The District Park is the major component of the green infrastructure of the St Andrews Park development. It is an existing open area of open parkland and woodland and would provide 14 hectares of publicly accessible open space for residents and visitors when complete. It is, therefore, considered that the improved landscaping and appearance of the park would have a positive impact on the visual amenities of the surrounding area, in accordance with Policies BE13, BE15 & BE19 of the Hillingdon Local Plan.

#### **7.08 Impact on neighbours**

As the application is for the development of a park, the proposed development would cause no significant harm to residential amenity of the future occupiers of the neighbouring residential dwellings in terms of loss of light, loss of outlook or sense of dominance. Therefore, the development is in accordance with Policy BE20 & BE21 of the Hillingdon Local Plan.

The development would include the erection of various landscape items and street furniture across the park. However, these are of a small scale, and have been designed to ensure no impacts occur to any surrounding properties. Therefore, the development is

considered to comply with Policy OE1 of the Hillingdon Local Plan.

**7.09 Living conditions for future occupiers**

Not applicable to this application.

**7.10 Traffic impact, Car/cycle parking, pedestrian safety**

This application seeks reserved matters approval for the district park. Vehicle access, parking and pedestrian safety are dealt with in other phases of the site's development.

**7.11 Urban design, access and security**

The design and layout of the park is in accordance with the Design Code approved at Outline Stage and are considered acceptable in terms of Urban Design.

**7.12 Disabled access**

Access across the park area would be improved with the refurbishment of the existing path network. No buildings are proposed as part of this application. As such there are not considered to be any access issues relating to the proposal.

**7.13 Provision of affordable & special needs housing**

Not applicable to this application.

**7.14 Trees, landscaping and Ecology**

The proposal includes the comprehensive landscaping of the park, which is generally in accordance with the design and landscaping approved as part of the outline permission. The Council's Tree and Landscape Officer raised some concerns with the details of the proposal as submitted, however, revised details of these issues have been received, which satisfy the Officer's concerns.

**7.15 Sustainable waste management**

Not applicable to this application.

**7.16 Renewable energy / Sustainability**

Not applicable to this application.

**7.17 Flooding or Drainage Issues**

Flooding and drainage issues were dealt with and overcome as part of the Outline Planning Permission for the development.

**7.18 Noise or Air Quality Issues**

Not applicable to this application.

**7.19 Comments on Public Consultations**

No comments received.

**7.20 Planning obligations**

The planning obligations for the development of the site were secured as part of the Outline Planning Permission.

**7.21 Expediency of enforcement action**

Not applicable to this application.

**7.22 Other Issues**

No further issues for consideration.

**8. Observations of the Borough Solicitor**

None.

**9. Observations of the Director of Finance**

None.

**10. CONCLUSION**

The application seeks to discharge the reserved matters relating to Layout, Scale, Appearance and Landscaping for the seventh application of Phase 1 for the creation of the eastern side of the District Park within the site.

The application site forms part of St Andrews Park (the former RAF Uxbridge Site), for which outline consent was granted under application reference 585/APP/2009/2752 for a residential led, mixed-use development.

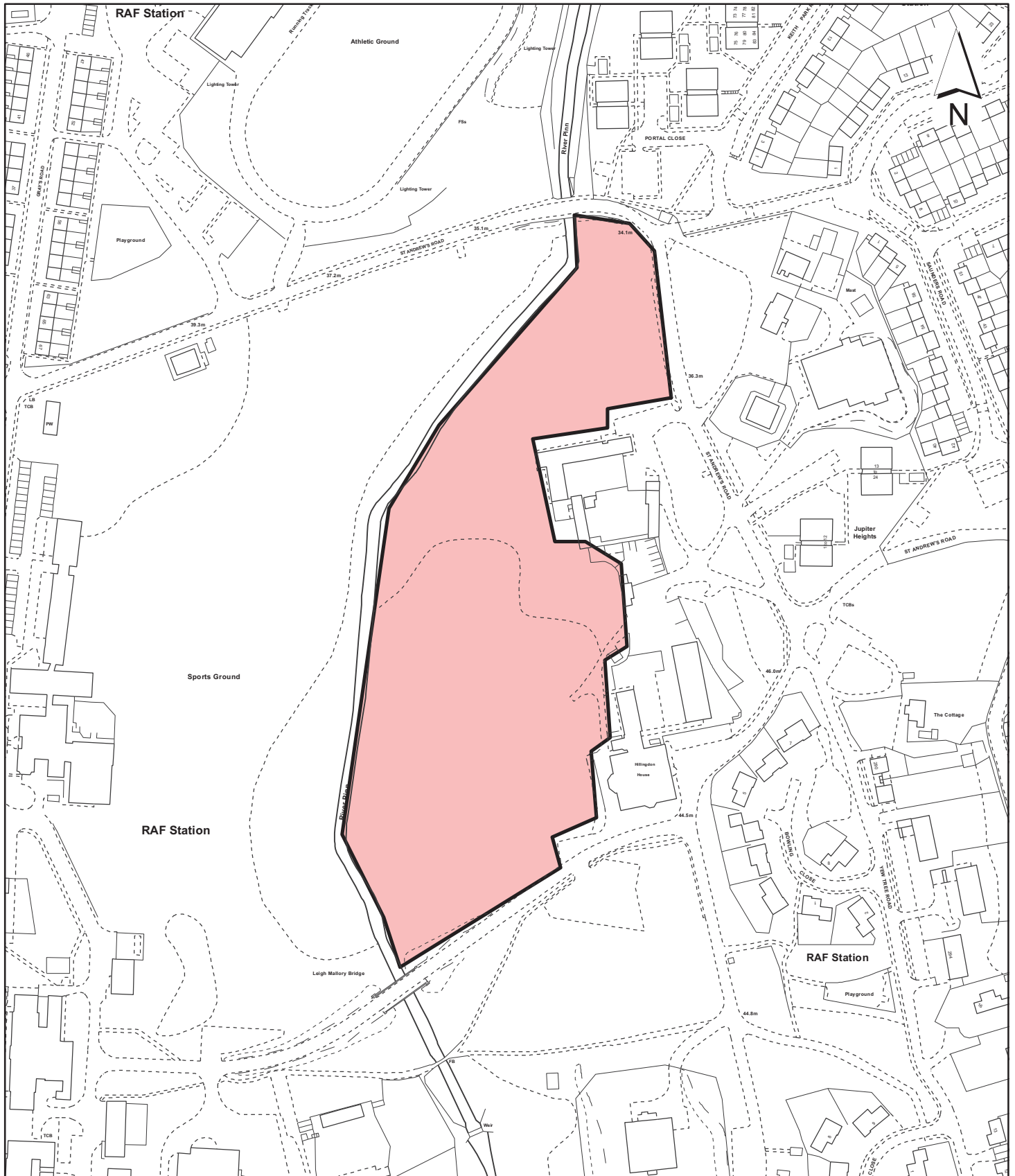
This area of park has been designed in accordance with the parameter plans and Landscape and Open Space Strategy approved at outline stage. The proposed landscaping would have a positive impact on the character and appearance of the surrounding area, in accordance with the vision of the approved design code. Therefore, it is recommended that the application be approved.



## **11. Reference Documents**

Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012)  
Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012)  
London Plan (July 2011)  
National Planning Policy Framework  
Hillingdon Supplementary Planning Document - Residential Layouts  
Hillingdon Supplementary Planning Document - Accessible Hillingdon  
Hillingdon Supplementary Planning Document - Noise  
Hillingdon Supplementary Planning Document - Planning Obligations  
Hillingdon Supplementary Planning Guidance - Community Safety by Design  
Hillingdon Supplementary Planning Guidance - Land Contamination

**Contact Officer:** Adam Flynn

**Telephone No:** 01895 250230



<p><b>Notes</b></p> <p> Site boundary</p> <p>For identification purposes only.</p> <p>This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.</p> <p>© Crown copyright and database rights 2013 Ordnance Survey 100019283</p>	<p>Site Address</p> <p align="center"><b>Former RAF Uxbridge Hillingdon Road Uxbridge</b></p>		<p align="center"><b>LONDON BOROUGH OF HILLINGDON</b></p> <p align="center"><b>Residents Services</b></p> <p align="center">Civic Centre, Uxbridge, Middx. UB8 1UW Telephone No.: Uxbridge 250111</p>	
	<p>Planning Application Ref:</p> <p align="center"><b>585/APP/2013/979</b></p>	<p>Scale</p> <p align="center"><b>1:2,500</b></p>		
	<p>Planning Committee</p> <p align="center"><b>Major Applications</b></p>	<p>Date</p> <p align="center"><b>May 2013</b></p>		



**B**

**Item No.**                      **Report of the  
Corporate Director of Residents Services**

**Address:**                      NORWICH UNION HOUSE, 1-3 BAKERS YARD, UXBRIDGE

**Development:**                REDEVELOPMENT OF NORWICH UNION HOUSE TO ERECT  
A 9 STOREY BUILDING COMPRISING RETIAL FLOORSPACE  
AT GROUND FLOOR LEVEL AND 8 STOREYS OF  
RESIDENTIAL UNITS (37 UNITS) WITH ASSOCIATED GYM,  
ACCESS AND PARKING ARRANGEMENTS.

**LBH Ref Nos:**                8218/APP/2011/1853

**Drawing Nos:**                AS PER ORIGINAL COMMITTEE REPORT

**Date  
applications  
approved at  
Committee**                      Approved by Central and South Planning Committee 13  
March 2013

**S106  
Agreement**                      That the recommendation to amend the affordable housing  
schedule to allow the entire development to be delivered as  
affordable housing is approved.

## 1.0 CONSULTATIONS

### 1.1 Internal Consultees

<b>Planning Obligations Officer</b>	Following the planning committee the owner has sold the site to a registered housing provider. The Registered Provider wishes to deliver the entire development as affordable housing thus requesting the removal of the financial payment in lieu of on site affordable housing delivery and replacing it with 100% of the scheme as affordable rent. It is considered that this is acceptable given that the council has a shortage of affordable housing under this tenure and the delivery of these units as affordable rent will assist with meeting our affordable housing targets and therefore it is requested that this tenure change is approved.
<b>Housing Officer</b>	There is a far higher demand for rented accommodation in the borough than there was last year. We are faced with a shortage of this type of tenure and as such are fully in support of this proposal as it will enable much needed affordable rented accommodation to be delivered to meet local housing needs. The registered provider has a limited window of time to justify their delivery programme to the GLA or they stand to lose their grant funding which would further reduce the ability of this

	scheme to deliver the affordable housing units as originally proposed if this variation request is not approved.
--	--

## **2.0 RECOMMENDATION**

- 1. That the Council enter into a deed of variation with the applicants under Section 106 of the Town and Country Planning Act 1990 (as amended) or other appropriate legislation to secure:**
  - (i) The provision of 37 Affordable Rented units delivered at not more than 80% of Open Market Rent (inclusive of service charges).**
  - (ii) A financial contribution of £109,190 towards education facilities.**
  - (iii) A financial contribution of £14,716.23 towards health facilities.**
  - (iv) A financial contribution of £1,562.16 towards the expansion of the Borough's library programme.**
  - (v) A financial contribution of £29,074.85 towards construction training or an in-kind scheme delivered during the construction phase of the development.**
  - (vi) A financial contribution equal to 5% of the total cash contributions for project management and monitoring.**
  - (vii) A s278/38 agreement to be entered into to address any and all highways works as directed by the Council's highway's engineer.**
  - (viii) A Refuse Management Plan detailing how the refuse collection via a private operator is to occur.**
- 2. That the applicant meets the council's reasonable costs in the preparation of the deed of variation and any abortive work as a result of the deed not being completed.**
- 3. That Officers be authorised to negotiate and agree the amended terms for the Affordable Housing Schedule in the Deed of Variation.**

## **3.0 KEY PLANNING ISSUES**

- 3.1** The current planning application was lodged on the 17<sup>th</sup> of November 2011 and reported to the Central and South Planning Committee on the 13<sup>th</sup> of March 2013.
- 3.2** The Committee determined to approve the application and the decision was released on the 12<sup>th</sup> of June 2013 after the s106 agreement had been signed also on the 12<sup>th</sup> of June 2013. The scheme was the subject of a financial viability assessment and the resulting affordable housing obligation was to be a financial contribution in the sum of £161,729.60. The owner has since sold the site to a Registered Provider who wishes to deliver 100% of the scheme as affordable housing on site, hence this deed of variation request.
- 3.3** This request has the approval of the housing department. Due to changes in market conditions and changes to the grants available for social housing, it has not been possible to achieve the 70/30 tenure mix of rented versus

intermediate (shared ownership/ discounted market) housing on a number of schemes. This has resulted in a very skewed delivery of affordable housing in favour of intermediate tenure, which impacts on the number of households in bed and breakfast accommodation. The housing department are trying to redress this balance of rented and intermediate affordable housing available in the borough and a change of tenure to Affordable rent housing units on this development would assist in this shift and reducing the burden placed upon the local authority.

- 3.4 The change will also secure a much greater benefit to the boroughs social housing stock than would have been achieved through the off-site financial contribution originally secured.
- 3.5 Approval to change the delivery of affordable housing from a financial contribution to that of on-site delivery as an affordable rent tenure is sought and is considered an appropriate course of action to enable the affordable housing on this site to be delivered, increasing the affordable housing stock delivered from this site and subject to the conditions imposed by the planning inspectorate in their decision of 13 November 2009.

## **OBSERVATIONS OF BOROUGH SOLICITOR**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached. Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

## **OBSERVATIONS OF THE DIRECTOR OF FINANCE**

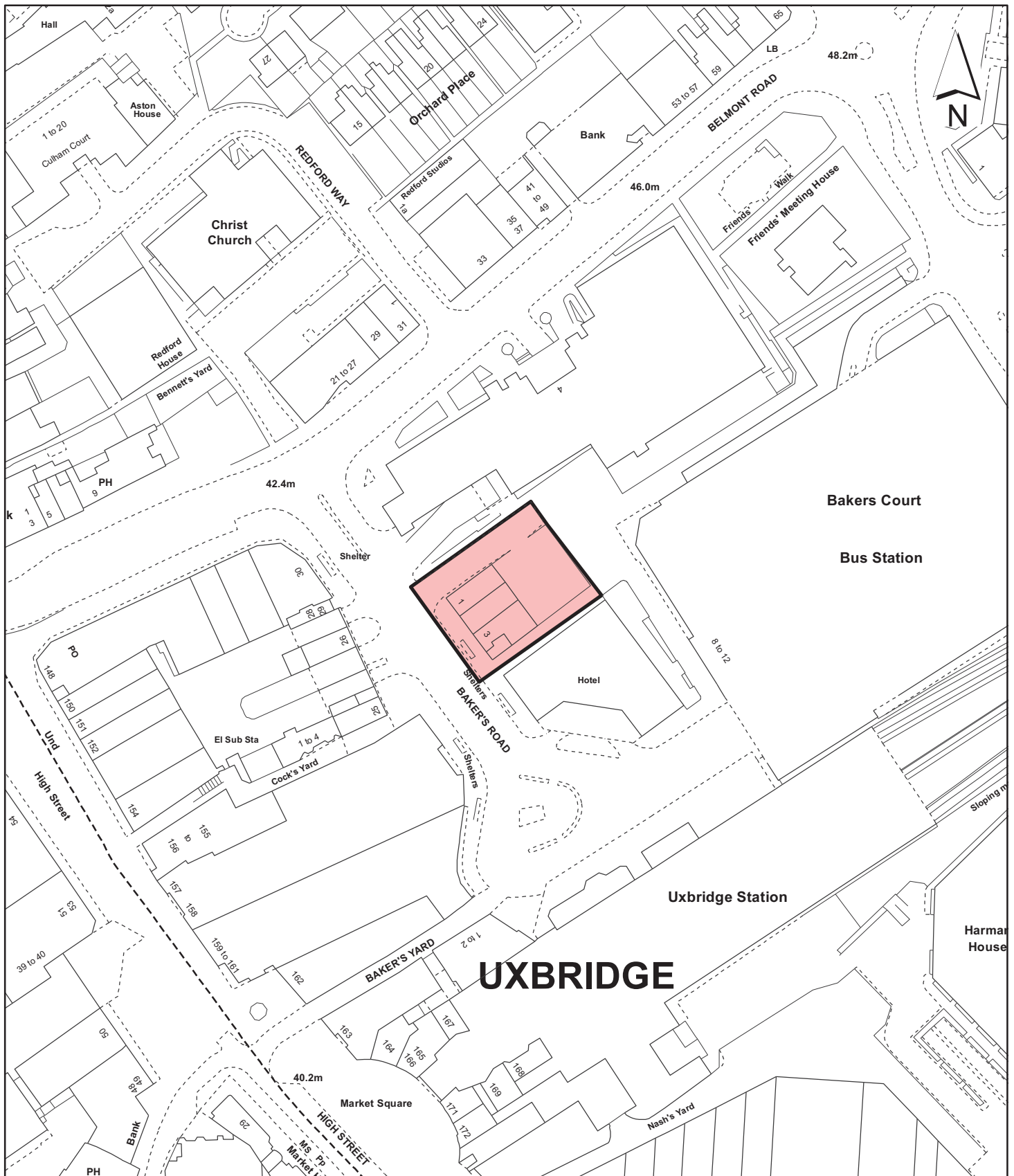
The report indicates that the costs of the development will be fully met by the developer, and the developer will make a Section 106 contribution to the Council towards associated public facilities. The developer will also meet the reasonable costs of the Council in the preparation of the Section 106 agreement and any abortive work as a result of the agreement not being completed. Consequently, there are no financial implications for this Planning Committee or the Council.

### **Reference Documents**

- (a) Central and South Planning Committee Agenda 13 March 2013. Report for application reference 8218/APP/2011/1853.
- (b) Central and South Planning Committee Minutes 13 March 2013 resolution for application reference 8218/APP/2011/1853.

**Contact Officer:** VANESSA SCOTT

**Telephone No:** 01895 250 230



# UXBRIDGE

### Notes

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Site Address

**Norwich Union House  
1 - 3 Bakers Road  
Uxbridge**

Planning Application Ref:

**8218/APP/2011/1853**

Planning Committee

**Major Applications**

Scale

**1:1,250**

Date

**July  
2013**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

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## Report of the Head of Planning, Sport and Green Spaces

**Address** PADCROFT WORKS TAVISTOCK ROAD YIEWSLEY

**Development:** Comprehensive redevelopment of site to provide three buildings of part 7 storeys and part 5 storeys comprising 208 residential units, 190 sq.m (approx) of Use Class B1 floorspace with associated public and private amenity space, hard and soft landscaping, lower ground floor parking for vehicles and bicycles, and alterations to 9 High Street to form new pedestrian route (involving demolition of all existing buildings other than no.9 High Street)

**LBH Ref Nos:** 45200/APP/2012/3082

**Drawing Nos:** T(20)P00-phase  
T(20)E01 Revision A  
T(20)E02 Revision A  
T(20)E03 Revision A  
T(20)E04 Revision B  
T(20)P00 Revision C  
T(20)P01 Revision A  
T(20)P02 Revision A  
T(20)P03 Revision A  
T(20)P04 Revision A  
T(20)P05 Revision A  
T(20)P06 Revision A  
T(20)P07 Revision A  
T(20)S01 Revision A  
T(20)S02 Revision A  
T(20)S03 Revision A  
T(20)S04 Revision A  
Design & Access Statement  
Planning Addendum Summary  
Air Quality Assessment  
Energy Statement  
Site Investigation Report  
CHP Addendum to Air Quality Report  
Final Draft Travel Plan  
Statement of Community Involvement  
Transport Assessment Update  
Operational Waste Management Strategy Rev C  
Flood Risk Assessment  
Daylight & Sunlight Report  
Marketing Report  
Noise Assessment  
Verified Views Document  
Pedestrian Level Wind Microclimate Assessment  
T(20)P-1 Revision E  
T(90)P100

<b>Date Plans Received:</b>	11/12/2012	<b>Date(s) of Amendment(s):</b>	26/07/2013
<b>Date Application Valid:</b>	10/01/2013		12/12/2012
			12/07/2013

30/05/2013

09/01/2013

14/12/2012

13/02/2013

12/01/2013

## 1. SUMMARY

Planning permission is sought for the comprehensive redevelopment of the site to provide three buildings of part 7 storeys and part 5 storeys comprising 208 homes, 190 sqm (approx) of Use Class B1 floorspace with associated public and private amenity space, hard and soft landscaping, lower ground floor parking for vehicles and bicycles, and alterations to 9 High Street to form a new pedestrian route.

The scheme will provide 25 social rented and intermediate affordable units, 198 parking spaces, 10 motorcycle spaces and 292 cycle parking spaces.

The proposed scheme has been amended during the course of officers' consideration of the application and follows extensive pre and post-submission discussions to overcome various concerns relating to density, height, detailed design, parking and amenity standards.

The scheme has been reduced from an initial 241 units to 208 to overcome concerns about density and height. The proposed parking is considered to meet the anticipated demand for parking taking into account the arrival of Crossrail, car-ownership levels in the area, and is comparable to similar sized regeneration schemes nearby and elsewhere in the borough. The Highways Officer supports the scheme.

The revised design is considered to respond to its local context and provides private and shared amenity space which meets and exceeds the London Plan standards for new residential units. More than 10% of the flats will be wheelchair accessible and all will be Lifetime Homes compliant.

The proposed scheme is considered to be of an acceptable design which would be compatible within the local context and result in a compliant standard of amenity for future occupiers without impacting detrimentally on the amenity of neighbouring residents. The application includes policy compliant S106 contributions towards health and education which will help to mitigate the impacts of the development. The applicant has also addressed all concerns raised by the GLA and TFL.

Accordingly, the application is recommended for approval, subject to conditions and planning obligations.

The development is therefore considered to be in compliance with policies BE13, BE18,



BE21, BE23, BE24, AM7, AM9 and R17 of the Local Plan Part 2.

## **2. RECOMMENDATION**

**1. That subject to the Mayor not directing the Council under Article 6 of the Town and Country Planning (Mayor of London) Order 2008 to refuse the application, or under Article 7 of the Order that he is to act as the local planning authority for the purpose of determining the application, delegated powers be given to the Head of Planning, Green Spaces and Culture to grant planning permission, subject to any relevant amendments agreed by the Head of Planning Green Spaces and Culture and also those requested by the Greater London Authority and the following:**

**a) That the Council enters into an agreement with the applicant under Section 106 of the Town and Country Planning Act 1990 (as amended) and/or Section 278 of the Highways Act 1980 (as amended) and/ or other appropriate legislation to secure:**

- i. Affordable Housing: 13% by habitable room, plus a review mechanism.**
- ii. Education: a financial contribution in the sum of £770,426,**
- iii. Health: a financial contribution in the sum of £87,777.35**
- iv. Libraries: a financial contribution in the sum of £9,317.76**
- v. Air Quality: A contribution in the sum of £12,500**
- vi. Construction Training: deliver an in-kind scheme to the value of the financial contribution.**
- vii. Project Management and Monitoring: 5% of total cash contributions (£44,001.10) - can be phased.**
- viii. Highways Works:**
  - 1. Tavistock Road:**
    - a). Access works to the site,**
    - b) Carriageway and footway resurfacing and any associated works between Tavistock Road access and High Street/Tavistock Road junction except any recently surfaced footway;**
    - c) Removing car parking spaces, implementing parking restrictions and associated costs.**
  - 2. Bentinck Road:**
    - a) Stopping up of existing access and footway reinstatement;**
    - b) New access works; and**
    - c) Relocation of on-street parking spaces, parking restrictions, and associated costs.**
  - 3. Car parking allocation and management scheme;**
  - 4. Refuse and delivery management scheme; and**
  - 5. Travel Plan**
- ix) Prohibit future residents of the development from obtaining parking permits within existing or future controlled parking areas on the public highway.**

**B) That in respect of the application for planning permission, the applicant meets the Council's reasonable costs in preparation of the Section 106 and 278 Agreements and any abortive work as a result of the agreement not being completed.**

**C) That officers be authorised to negotiate and agree the detailed terms of the proposed agreement and conditions of approval.**

**D) If the Legal Agreement/s have not been finalised within 3 months, delegated authority be given to the Head of Planning, Green Spaces and Culture to refuse planning permission for the following reason:**

**'The applicant has failed to deliver necessary offsite highway works and to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development (in respect of education, affordable housing, health facilities, public realm, open space improvement, library improvements, construction and employment training and delivery of necessary offsite highway works. The proposal therefore conflicts with Policy AM2, AM7 and R17 of the adopted Local Plan and the Council's Planning Obligations SPG.'**

**E) That subject to the above, the application be deferred for determination by the Head of Planning, Green Spaces and Culture under delegated powers, subject to the completion of the legal agreement under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers with the applicant.**

**F) That if the application is approved, the following conditions be imposed subject to any changes negotiated by the Head of Planning, Green Spaces and Culture prior to issuing the decision:**

**1 COM3 Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**REASON**

To comply with Section 91 of the Town and Country Planning Act 1990.

**2 COM4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans referenced below and shall thereafter be retained/maintained for as long as the development remains in existence:

T(90)P100	Location Plan
T(20)E01 Revision A	Proposed Elevations 1 and 2
T(20)E02 Revision A	Proposed Elevations 3 and 4
T(20)E03 Revision A	Proposed Elevations 5 and 6
T(20)E04 Revision B	Proposed Elevation 7, 8 and 9
T(20)P00 Revision C	Proposed Ground Floor
T(20)P01 Revision A	Proposed First Floor
T(20)P02 Revision A	Proposed Second Floor
T(20)P03 Revision A	Proposed Third Floor
T(20)P04 Revision A	Proposed Fourth Floor
T(20)P05 Revision A	Proposed Fifth Floor
T(20)P06 Revision A	Proposed Sixth Floor
T(20)P07 Revision A	Proposed Seventh Floor
T(20)P-1 Revision E	Proposed Lower Ground
T(20)S01 Revision A	Proposed Sections 1 and 2
T(20)S02 Revision A	Proposed Sections 3 and 4
T(20)S03 Revision A	Proposed Sections 5 and 6

T(20)S04 Revision A Proposed Sections 7, 8 and 9  
T(20)P00-phase Phasing Plan

**REASON**

To ensure the development complies with the provisions of the Hillingdon Local Plan (November 2012) and the London Plan (July 2011).

**3 COM5 General compliance with supporting documentation**

The development hereby permitted shall not be occupied until the following has been completed in accordance with the specified supporting plans and/or documents:

Noise Mitigation Measures in accordance with (Noise Assessment)

Thereafter the development shall be retained/maintained in accordance with these details for as long as the development remains in existence

**REASON**

To ensure that future and neighbouring residential amenity is not adversely affected by noise in accordance with Policies OE1, OE3 and OE5 of the Hillingdon Local Plan (November 2012).

**4 COM6 Levels**

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

**REASON**

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 of the Hillingdon Local Plan (November 2012).

**5 COM7 Materials (Submission)**

No development shall take place until details of all materials and external surfaces, including details of balconies, winter gardens and the privacy fence have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images and sample materials shall be available to view on site at the Local Planning Authorities request.

**REASON**

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Local Plan (November 2012).

**6 RES9 Landscaping (including refuse/cycle storage)**

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping
  - 1.a Planting plans (at not less than a scale of 1:100),
  - 1.b Written specification of planting and cultivation works to be undertaken,

1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate

2. Details of Hard Landscaping

2.a Refuse Storage

2.b Cycle Storage

2.c Means of enclosure/boundary treatments

2.d Car Parking Layouts (including demonstration that 5% of all parking spaces are served by electrical charging points)

2.e Hard Surfacing Materials

2.f External Lighting

2.g Other structures (such as play equipment and furniture)

3. Living Walls and Roofs

3.a Details of the inclusion of living walls and roofs

3.b Justification as to why no part of the development can include living walls and roofs

4. Details of Landscape Maintenance

4.a Landscape Maintenance Schedule for a minimum period of 5 years.

4.b Proposals for the replacement of any tree, shrub, or area of surfing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.

4.c Details of the provision, allocation and management responsibility of the allotments proposed.

5. Schedule for Implementation

6. Other

6.a Existing and proposed functional services above and below ground

6.b Proposed finishing levels or contours

7. The provision and management of a buffer zone alongside the Grand Union Canal as detailed in drawing number SBH911/SK\_48, Revision D. The buffer zone scheme shall be free from built development including lighting, domestic gardens and formal landscaping. The scheme shall include the following elements:

- detail extent and type of new planting

- details of any proposed lighting and fencing.

- details of maintenance regimes and management responsibilities demonstrating how the buffer zone will be protected during development and managed/maintained over the longer term including adequate financial provision and named body responsible for management plus production of detailed management plan

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13 and BE38 of the Hillingdon Local Plan (November 2012) and Policies 5.11 (living walls and roofs) and 5.17 (refuse storage) of the London Plan (July 2011).

**7 RES11 Play Area provision of details**

No development shall take place until details of play areas for children and rooftop

amenity space, including maintenance responsibilities, have been submitted to and approved in writing by the Local Planning Authority. Thereafter, the play areas and rooftop amenity space shall be provided prior to the occupation of any unit within the development and maintained in accordance with the approved details for the life of the development.

#### REASON

To ensure that the development makes adequate provision of children's play space in accordance with Policy R1 of the Hillingdon Local Plan (November 2012) and London Plan (July 2011) Policy 3.16.

### **8 RES16 Code for Sustainable Homes**

No development shall take place until an updated Code of Sustainable Homes and Sustainable Energy Assessment Report has been submitted to and approved in writing by the Local Planning Authority. The report shall demonstrate how the each dwelling hereby approved shall achieve Level 4 of the Code for Sustainable Homes (including design stage certificates) and how the development will reduce regulated CO2 emissions by 25% (on 2010 building regulations).

Thereafter, the scheme shall be completed in strict accordance with the approved details and no dwelling shall be occupied until a Code for Sustainable Homes Level 4 completion stage certificate for the relevant dwelling has been submitted to and approved in writing by the Local Planning Authority.

#### REASON

To ensure that the objectives of sustainable development are met in accordance with Policies 5.1, 5.2 and 5.3 of the London Plan (July 2011).

### **9 RES18 Lifetime Homes/Wheelchair Units**

All residential units within the development hereby approved shall be built in accordance with 'Lifetime Homes' Standards. Further 10% of the units hereby approved shall be designed and constructed to be fully wheelchair accessible or easily adaptable for residents who are wheelchair users, as set out in the Council's Supplementary Planning Document 'Accessible Hillingdon'.

#### REASON

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan (July 2011) Policies 3.1, 3.8 and 7.2.

### **10 NONSC Protection from Ingress of Polluted Air**

No development shall take place until details of a mechanical ventilation system, designed in accordance with section 8 of the approved Air Quality Assessment submitted as part of this application, have been submitted to and approved in writing by the Local Planning Authority.

Thereafter the ventilation system shall be fully implemented and maintained in strict accordance with the approved details for as long as the building remains in use.

#### REASON

To safeguard residential amenity in accordance with Policy OE1 of the Hillingdon Local Plan (November 2012).

### **11 NONSC Air pollution**

Before the development is commenced, details of emissions and details to limit and/or

control air pollution for any CHP/boilers shall be submitted to and approved in writing by the Local Planning Authority. The agreed measures shall be implemented prior to the occupation of the development and thereafter maintained for the lifetime of the development unless otherwise agreed in writing by the Local Planning Authority.

**REASON**

In order to safeguard the amenities of the area, in accordance with Policy OE1 Hillingdon Local Plan (November 2012).

**12 NONSC Soil Testing**

No dwelling hereby approved shall be occupied until site derived soils and imported soils have been independently tested for chemical contamination, and the results of this testing submitted to and approved in writing by the Local Planning Authority. All soils used for gardens and/or landscaping purposes shall be clean and free of contamination.

**REASON**

To ensure that the occupants of the development are not subject to any risks from soil contamination in accordance with policy OE11 of the Hillingdon Local Plan (November 2012).

**13 COM15 Sustainable Water Management**

No development shall take place until a scheme for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate that sustainable drainage systems (SUDS) have been incorporated into the designs of the development in accordance with the hierarchy set out in accordance with Policy 5.15 of the London Plan and will:

- i. provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. include a timetable for its implementation; and
- iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- iv. provide details of water collection facilities to capture excess rainwater;
- v. provide details of how rain and grey water will be recycled and reused in the development.

Thereafter the development shall proceed in accordance with the approved scheme.

**REASON**

To ensure the development does not increase the risk of flooding in accordance with Policy OE8 of the Hillingdon Local Plan (November 2012) and London Plan (July 2011) Policy 5.12.

**14 COM31 Secured by Design**

The buildings shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No building shall be occupied until accreditation has been achieved.

**REASON**

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in excising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with London Plan (July 2011) Policies 7.1 and 7.3.

**15 NONSC Car Parking Allocation Plan**

No dwelling hereby approved shall be occupied until a car parking allocation scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall allocate each space to an individual unit within the development, for the sole use by its occupiers or their visitors. Thereafter the car parking spaces shall be allocated in accordance with the approved scheme and the parking areas shall be permanently retained and used for no purpose other than the parking of motor vehicles.

**REASON**

To ensure that the vehicular access, servicing and parking areas are satisfactorily laid out on site in accordance with Policy AM14 of the adopted Hillingdon Local Plan (November 2012) and Chapter 6 of the London Plan (July 2011).

**16 NONSC Car Parking Stackers**

No development shall take place until plans, manufactures details and a scheme for the maintenance of the 49 car parking stackers has been submitted to and approved in writing by the Local Planning Authority. Thereafter the 49 car parking stackers shall be installed and maintained in accordance with the approved details in the locations shown on plan T(20)P-1 Rev A for as long as the building remains in use.

**REASON**

To ensure that the vehicular access, servicing and parking areas are satisfactorily laid out on site in accordance with Policy AM14 of the adopted Hillingdon Local Plan (November 2012) and Chapter 6 of the London Plan (July 2011).

**17 NONSC Gate Details**

Prior to the commencement of the development hereby approved, details of the pedestrian/vehicular gates/barriers into the site, incorporating facilities for the operation of gates/barriers by disabled persons, and manual operation of any gates/barriers in the event of power failure shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the gates/barriers shall be installed in accordance with the approved details and maintained so long as the development remains on site.

**REASON**

In order to ensure the development achieves an appropriate level of accessibility in accordance with Policy 3.8 of the London Plan (July 2011) and the HDAS -Accessible Hillingdon.

**18 COM27 Traffic Arrangements - submission of details**

Development shall not begin until details of all traffic arrangements (including where appropriate carriageways, footways, turning space, safety strips, sight lines at road junctions, kerb radii, car parking areas and marking out of spaces, loading facilities, closure of existing access and means of surfacing) have been submitted to and approved in writing by the Local Planning Authority. The approved development shall not be occupied until all such works have been constructed in accordance with the approved details. Thereafter, the parking areas, sight lines and loading areas must be permanently

retained and used for no other purpose at any time. Disabled parking bays shall be a minimum of 4.8m long by 3.6m wide, or at least 3.0m wide where two adjacent bays may share an unloading area.

#### REASON

To ensure pedestrian and vehicular safety and convenience and to ensure adequate off-street parking, and loading facilities in compliance with Policy AM14 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Chapter 6 of the London Plan (July 2011).

#### **19 COM30 Contaminated Land**

(i) The development hereby permitted shall not commence until a scheme to deal with contamination has been submitted in accordance with the Supplementary Planning Guidance on Land Contamination and approved by the Local Planning Authority (LPA). The scheme shall include all of the following measures unless the LPA dispenses with any such requirement specifically and in writing:

(a) A desk-top study carried out by a competent person to characterise the site and provide information on the history of the site/surrounding area and to identify and evaluate all potential sources of contamination and impacts on land and water and all other identified receptors relevant to the site;

(b) A site investigation, including where relevant soil, soil gas, surface and groundwater sampling, together with the results of analysis and risk assessment shall be carried out by a suitably qualified and accredited consultant/contractor. The report should also clearly identify all risks, limitations and recommendations for remedial measures to make the site suitable for the proposed use.

(c) A written method statement providing details of the remediation scheme and how the completion of the remedial works will be verified shall be agreed in writing with the LPA prior to commencement.

(ii) If during development or works contamination not addressed in the submitted remediation scheme is identified, an addendum to the remediation scheme must be agreed with the LPA prior to implementation; and

(iii) All works which form part of the remediation scheme shall be completed and a verification report submitted to the Council's Environmental Protection Unit before any part of the development is occupied or brought into use unless the LPA dispenses with any such requirement specifically and in writing.

#### REASON

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy OE11 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

#### **20 NONSC Bird Hazard Management Plan**

Prior to commencement of each phase of the outline element of the development, or any of the elements of development for which full planning permission is hereby approved, detailed drawings and supporting documentation in relation to the relevant phase or component of the full planning element shall be submitted to and approved in writing by the Local Planning Authority, in respect of the following:

- i) A Bird Hazard Management Plan which shall include the following details:
  - Details of any water features,



- Monitoring of any standing water within the site,
- Drainage details including Sustainable Urban Drainage Schemes (SUDS). Such schemes must also comply with Advice Note 6 Potential Bird Hazards from SUDS which is available at [www.aoa.org.uk/publications/safeguarding.asp](http://www.aoa.org.uk/publications/safeguarding.asp)
- Management of any flat roofs within the site which may be attractive to nesting, roosting or 'loafing' birds. The management plan shall comply with Advice Note 8 - Potential Bird Hazards from Building Design ([www.aoa.org.uk/publications/safeguarding.asp](http://www.aoa.org.uk/publications/safeguarding.asp)),
- Any earthworks,
- The species, number and spacing of trees and shrubs,
- reinstatement of grass areas,
- maintenance of planted and landscaped areas, particularly in terms of the height and species of plants that are allowed to grow,
- which waste materials can be brought on to the site,
- monitoring of waste imports,
- physical arrangement for collection and storage of putrescible waste,
- signs deterring people from feeding birds.

Thereafter and prior to occupation of each relevant phase/relevant component of the full planning element, the scheme shall be completed in strict accordance with the approved details and thereafter maintained for the life of the development.

#### REASON

To protect Aircraft safety in accordance with Policy A6 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **21 NONSC No External Storage**

No placing or storage of goods, materials, plant or equipment shall take place other than within the buildings and the service yard. The height of any goods, material, equipment etc. shall not be stacked higher than the retaining wall to the boundary of the school or 4m (which ever is the lower).

#### REASON

In the interests of amenity and to ensure that external areas are retained for the purposes indicated on the approved plans in accordance with Policy OE1 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012). and London Plan (July 2011) Policy 7.1.

#### **22 NONSC Servicing & Delivery Management Plan**

Prior to commencement of development, details of a Delivery and Servicing Plan for the residential units and B1 Office shall be submitted to and approved in writing by the Local Planning Authority. This shall incorporate measures to minimise vehicle deliveries during am and pm peak hours. The approved strategy shall be implemented as soon as development is brought into use and the strategy shall remain in place thereafter. Any changes to the strategy shall be agreed in writing by the Local Planning Authority.

#### REASON

To encourage out of hours/off peak servicing to help mitigate the site's contribution to local congestion levels in compliance with Policy AM2 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **23 NONSC EA Condition 1**

If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the local

planning authority) shall be carried out until the developer has submitted a remediation strategy to the local planning authority detailing how this unsuspected contamination shall be dealt with and obtained written approval from the local planning authority. The remediation strategy shall be implemented as approved.

**REASON**

To ensure protection of controlled waters in accordance with Policy OE8 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and London Plan (July 2011) Policy 5.12.

**24 NONSC EA Condition 2**

Piling or any other foundation designs using penetrative methods shall not be permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to groundwater. The development shall be carried out in accordance with the approved details.

**REASON**

To ensure protection of controlled waters in accordance with Policy OE8 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and London Plan (July 2011) Policy 5.12.

**25 NONSC Opening Hours B1**

The B1 premises hereby approved at ground floor level shall not be used outside the following hours: -

[0800 to 2100], Mondays - Fridays

[0800 to 2000] Saturdays

[1000 to 1800] Sundays, Public or Bank Holidays.

**REASON**

To safeguard the residential amenity of the occupiers of adjoining and nearby properties in accordance with Policy OE3 of the Hillingdon Unitary Development Plan.

**INFORMATIVES**

**1 I52 Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

**2 I53 Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

LPP 1.1	2011)Delivering the strategic vision and objectives for London
LPP 2.1	(2011) London in its global, European and UK context
BE13	New development must harmonise with the existing street scene.
BE18	Design considerations - pedestrian security and safety

BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE25	Modernisation and improvement of industrial and business areas
BE26	Town centres - design, layout and landscaping of new buildings
BE31	Facilities for the recreational use of the canal
BE32	Development proposals adjacent to or affecting the Grand Union Canal
BE36	Proposals for high buildings/structures in identified sensitive areas
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
OE7	Development in areas likely to flooding - requirement for flood protection measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
H4	Mix of housing units
H5	Dwellings suitable for large families
S12	Service uses in Secondary Shopping Areas
R1	Development proposals in or near areas deficient in recreational open space
R10	Proposals for new meeting halls and buildings for education, social, community and health services
R16	Accessibility for elderly people, people with disabilities, women and children
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
LE4	Loss of existing industrial floorspace or land outside designated Industrial and Business Areas
AM13	AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): - (i) Dial-a-ride and mobility bus services (ii) Shopmobility schemes (iii) Convenient parking spaces (iv) Design of road, footway, parking and pedestrian and street furniture schemes
AM18	Developments adjoining the Grand Union Canal - securing facilities for canal borne freight
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity

- AM7 Consideration of traffic generated by proposed developments.  
 AM8 Priority consideration to pedestrians in the design and implementation of road construction and traffic management schemes  
 AM9 Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities

**3 159 Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies.

On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

**4 158 Opportunities for Work Experience**

The developer is requested to maximise the opportunities to provide high quality work experience for young people (particularly the 14 - 19 age group) from the London Borough of Hillingdon, in such areas as bricklaying, plastering, painting and decorating, electrical installation, carpentry and landscaping in conjunction with the Hillingdon Education and Business Partnership.

Please contact: Mr Peter Sale, Chief Executive Officer, Hillingdon Training Ltd: contact details - c/o Hillingdon Training Ltd, Unit A, Eagle Office Centre, The Runway, South Ruislip, HA4 6SE Tel: 01895 671 976 email: petersale@hillingdontraining.co.uk

**5 11 Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

**6 115 Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

**7            12            Encroachment**

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

**8            121            Street Naming and Numbering**

All proposed new street names must be notified to and approved by the Council. Building names and numbers, and proposed changes of street names must also be notified to the Council. For further information and advice, contact - The Street Naming and Numbering Officer, Planning & Community Services, 3 North Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250557).

**9            13            Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

**10           145           Discharge of Conditions**

Your attention is drawn to the pre-commencement conditions which must be discharged prior to the commencement of works. You will be in breach of planning control should you commence these works prior to the discharge of this/these condition(s). The Council may consider taking enforcement action to rectify the breach of this condition(s). For further information and advice contact - Planning & Community Services, Civic Centre, Uxbridge, UB8 1UW (Tel: 01895 250230).

**11           148           Refuse/Storage Areas**

The proposed refuse and recycling storage areas meet the requirements of the Council's amenity and accessibility standards only. The proposed storage area must also comply with Part H of the Building Regulations. Should design amendments be required to comply with Building Regulations, these should be submitted to the Local Planning Authority for approval. For further information and advice contact - Planning & Community Services, Civic Centre, Uxbridge, UB8 1UW (Tel: 01895 250400).

**12           149           Secured by Design**

The Council has identified the specific security needs of the application site to be protection and security of bicycles within the parking area of the site.

You are advised to submit details to overcome the specified security needs in order to comply with condition 17 this planning permission.

### **13**

The applicant/developer should contact the Canal & River Trust's Third Party Works Engineer with reference to the current Canal & River Trust Code of Practice for Works affecting the Canal & River Trust to ensure that any necessary consents are obtained (<http://canalrivertrust.org.uk/about-us/for-businesses/undertaking-works-on-our-property>)

### **14**

The applicant/developer is advised that any encroachment or access onto the canal towpath requires written consent from the Canal & River Trust, and they should contact the Canal & River Trust's Estates Surveyor, Jonathan Young ([jonathan.young@canalrivertrust.org.uk](mailto:jonathan.young@canalrivertrust.org.uk)) regarding the required access agreement

### **15**      I60              **Cranes**

Given the nature of the proposed development it is possible that a crane may be required during its construction. The applicant's attention is drawn to the requirement within the British Standard Code of Practice for the safe use of Cranes, for crane operators to consult the aerodrome before erecting a crane in close proximity to an aerodrome. This is explained further in Advice Note 4, 'Cranes and Other Construction Issues' (available at [www.aoa.org.uk/publications/safeguarding.asp](http://www.aoa.org.uk/publications/safeguarding.asp))

### **16**

Wind Turbines can impact on the safe operation of aircraft through interference with aviation radar and/or due to their height. Any proposal that incorporates wind turbines must be assessed in more detail to determine the potential impacts on aviation interests. This is explained further in Advice Note 7, Wind Turbines and Aviation (available at <http://www.aoa.org.uk/policy-safeguarding.htm>).

### **17**

You are encouraged to ensure that facilities are provided to enable the easy watering of the roof garden, including any allotment facilities which might feature in the final landscaping details, and to ensure such facilities maximise opportunities for the re-use of rainwater.

### **18**

You are advised that no doors or gates should be installed which open out of the public highways as these may contravene The Highways Act 1980 (as amended).

## **3. CONSIDERATIONS**

### **3.1 Site and Locality**

The site is situated on the south side of Yiewsley in Hillingdon, West London. It is located on the north side of High Street Yiewsley. It occupies a number of derelict and under used plots behind the retail properties at the junction of Yiewsley and West Drayton High Streets.

The site of approximately 8,992sq metres in area is comprised of a number of previously unrelated plots of land. The main body of the site occupies land behind the retail properties that front the High Street. Largely surrounded by existing buildings, the site is

separated from the residential buildings of Winnock Road by an expansive but low rise warehouse building. There is currently no through route from one side of the site to the other.

The current site contains a mixture of building types and scales. The Dairy Crest Depot is largely of brick construction and mostly single storey wrapped around the open yards. The other commercial buildings around the edges of the site range from one to four storeys and are in a range of materials and styles.

The site sits immediately behind the High Street, which is a mixture of three and four storey traditional buildings with dormers and pitched roofs. These are retail and small scale commercial at ground floor with residential and further commercial units above.

There are a number of buildings opposite, on the high street, that appear to date from 1980's and 90's and these too are of three and four storeys. Bentinck Road is a mix of styles and heights along both its sides. A recent planning permission has been granted on the Harrier House site for an apart hotel with up to 6 storeys along the canal frontage before stepping down to three storeys on the pavement with Bentinck Road.

The terraces on Winnock Road form a consistent and intact residential edge a short distance north of the site. These are generally of traditional form with pitched roofs, rear extensions and long narrow private gardens. At the west end of the street is a commercial property of three storeys that is higher than the terraces.

### **3.2 Proposed Scheme**

The proposal is for the comprehensive redevelopment of site to provide three buildings of part 7 storeys and part 5 storeys comprising 208 residential units, 190 sqm (approx) of Use Class B1 floorspace, and 64 sqm of Use Class A1 floorspace with associated public & private amenity space, hard & soft landscaping, lower ground floor parking for vehicles and bicycles, and alterations to 9 High Street to form a new pedestrian route.

It should be noted that the scheme has been revised since the initial submission, which was for a part 9, part 7 and part 5 story development.

The residential units would be provided by way of a flatted development. The flats would comprise a total of 44 one-bedroom units, 123 two-bedroom units and 41 three-bedroom units. The commercial floorspace would be provided on the ground floor of a block facing Bentinck Road.

The development would consist of 3 blocks ranging in height from four to 5-storeys (including basement parking) across the site, with the taller units located to the rear of the site close to the boundary with the industrial units to the north west. A pedestrian access is proposed to be created through part of the ground floor retail unit at no. 9 High Street, whilst retaining this retail unit.

The main vehicular access for cars to the site is from Tavistock Road. There is a secondary access for refuse, servicing and delivery vehicles from Bentinck Road.

The current proposals indicate basement parking would be provided for the various uses, throughout the site.

Areas of communal amenity space would be provided at ground level and at roof level. Private amenity space would be provided by way of private courtyards at ground level

together with balconies.

### 3.3 Relevant Planning History

#### Comment on Relevant Planning History

Planning permission was refused for planning application ref: 45200/APP/2005/929 for the redevelopment of part of the current site to provide 62 residential units. It was later allowed at appeal.

## 4. Planning Policies and Standards

### UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

LPP 1.1	2011)Delivering the strategic vision and objectives for London
LPP 2.1	(2011) London in its global, European and UK context
BE13	New development must harmonise with the existing street scene.
BE18	Design considerations - pedestrian security and safety
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE25	Modernisation and improvement of industrial and business areas
BE26	Town centres - design, layout and landscaping of new buildings
BE31	Facilities for the recreational use of the canal
BE32	Development proposals adjacent to or affecting the Grand Union Canal
BE36	Proposals for high buildings/structures in identified sensitive areas
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
OE7	Development in areas likely to flooding - requirement for flood protection measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
H4	Mix of housing units



H5	Dwellings suitable for large families
S12	Service uses in Secondary Shopping Areas
R1	Development proposals in or near areas deficient in recreational open space
R10	Proposals for new meeting halls and buildings for education, social, community and health services
R16	Accessibility for elderly people, people with disabilities, women and children
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
LE4	Loss of existing industrial floorspace or land outside designated Industrial and Business Areas
AM13	AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): - (i) Dial-a-ride and mobility bus services (ii) Shopmobility schemes (iii) Convenient parking spaces (iv) Design of road, footway, parking and pedestrian and street furniture schemes
AM18	Developments adjoining the Grand Union Canal - securing facilities for canal borne freight
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM8	Priority consideration to pedestrians in the design and implementation of road construction and traffic management schemes
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **5th February 2013**

5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

A total of 354 neighbouring properties were consulted. 24 letters of objection were received. Objections were raised on the following grounds:

- i) Out of keeping with the area.
- ii) Impact on highway network/Traffic.
- iii) Additional pressure on local services.
- iv) No need for such a development in this area.
- v) Traffic congestion resulting from the development.
- vi) The 9 storey proposals were too high.
- vii) Demolition of no.9 high street is unacceptable.
- viii) Loss of privacy and daylight to existing properties.
- ix) Unacceptable loss of office space.
- x) Overdevelopment.
- xi) Insufficient car parking.

xii) Impact on already heavily parked and Tavistock Road.

#### YIEWSLEY & WEST DRAYTON TOWN CENTRE ACTION GROUP

The amendments have been noted and discussed.

There was general agreement that the proposed amendments have, in the main, addressed some of the concerns expressed previously. However, there is still some concern in relation to increased vehicular movement/access in Tavistock Road and the junction with High Street/ Station Approach/Station Road. Concern has also been expressed as to the proposed pedestrian access through No 9 the High Street. These 2 particular buildings are the last vestiges of the historical link with Colham Bridge/Colham Wharf/High Street. There was also concern about the impact of this access onto the footway.

#### BAA

No objections raised subject to Bird Hazard Management Plan condition together with a Cranes and landscaping informative.

#### NATURAL ENGLAND

No objection.

#### DEFENCE ESTATES

No Objection.

#### GLA

London Plan policies on the loss of industrial land, land use and the principle of a residential-led scheme, details of the density, quality, unit size and mix of residential accommodation; the proportion of affordable housing, the design and impact on the townscape, transport issues; and the energy provisions of the scheme are relevant to this application.

The application complies with some of these policies but not with others, for the following reasons:

i) Loss of employment land: No specific land use designation in the London Plan or Hillingdon Local Plan, but proposal complies with the town centre and regeneration objectives of the London Plan and is therefore acceptable from a strategic planning perspective. Hillingdon Council should, nonetheless, ensure that the potential loss of employment premises is acceptable in terms of the borough's supply of industrial land.

ii) Affordable housing: In light of the low proportion of affordable housing (14% by unit), the Council is urged to commission an independent and robust review of the applicant's financial viability appraisal, in order to ascertain that the contribution proposed is indeed the maximum reasonable amount that can be provided without compromising the delivery of this scheme.

iii) Housing mix: Notwithstanding the town centre location of the site, the GLA encourages the Council to negotiate an uplift in the proportion of three bedroom apartments, relative to one and two-bedroom units, unless the current mix of dwellings has previously been agreed with the applicant to reflect a specific local need.

iv) Design: To enhance the levels of legibility, activity, sun/eillance, security and a sense of ownership for the central space, whilst fulfilling the strategic objectives set out in the London Housing Design Guide, the applicant is requested to reconfigure the design of the ground floor units looking out onto the central amenity space to ensure that each has its own individual entrance directly from the public realm.

v) Transport: For the purpose of assessing the net impact of the development, TfL requests the applicant to confirm if the existing buildings have been vacant for over a year and do not therefore generate any trips; and to clarify the methodology used in the calculating trip generation. The Council should secure implementation of the submitted travel plan by legal agreement, section 106

funding to implement works arising from the pedestrian audit and impose planning conditions to secure submission of a construction logistics plan and a delivery and servicing plan, as set out in the TfL section of this report.

vi) Energy: Whilst the energy provisions are broadly compliant with the London Plan, the following additional details are required to ensure that submitted strategy is sufficiently robust: a written commitment to ensure that the development would be designed to allow future connection to a district heating network whenever one becomes available; a drawing showing the route of the heat network linking all buildings on the site; written confirmation that the site heat network will be supplied from a single energy centre, together with the floor area and location of the energy centre; and a drawing showing the location, layout and area of the proposed photovoltaic panels.

On balance, whilst the application is broadly acceptable in strategic planning terms, it does not comply fully with the London Plan.

OFFICER COMMENT: The scheme has been amended and further details submitted to address GLA concerns.

#### ENVIRONMENT AGENCY

No objection raised subject to conditions.

#### **Internal Consultees**

EPU

Air Quality

The proposed development is within the declared AQMA and in an area which currently appears to be slightly under the European Union limit value (40 mg/m<sup>3</sup>) for annual mean nitrogen dioxide (NO<sub>2</sub>), and may be exceeding the EU limit value based on CERC modelling for 2011. The nearby NO<sub>x</sub> tubes to date are below the EU limit value, and there does not appear to have been much change in the levels over the last four to five years.

The air quality assessment, based on the transport assessment (JMP, November 2012), has indicated the impact from the redevelopment of Rainbow industrial estate, Station House and the Bentley Disco site (but not Harrier or Versatile House on Bentinck Road) were considered alongside the development which includes approximately 185 parking spaces (given the location and possible issues at junctions, clarification is required on if the transport assessment appropriately reflects the impact from the development(s)). It does not consider the impact from the CHP (the addendum document indicates up to a 100 kW<sub>e</sub> natural gas engine would be in use with (unspecified) boilers), car park emissions and railway emissions (it is possible the line electrification works may be completed by 2022) within the air quality assessment. The impacts of air quality on onsite residential receptors were considered, although it does not appear to include the likely worst impacted facades and does not appear to indicate NO<sub>2</sub> levels at the facade of the building above the ground floor level. It is anticipated NO<sub>2</sub> limits will be met above floor three, possibly except where there is a local source such as the stack for the CHP.

The baseline assessment was carried for 2012 and 2022 with and without the development. NO<sub>2</sub> levels have largely dropped off in 2022, and it is assumed this is primarily due to the emission factors used in the modelling, which generally still indicates likely exceedances in the high street location(s) only. It seems unlikely the lowering of NO<sub>2</sub> levels are due to the development, but rather are a result of assumptions made on 'engine efficiency and tighter emission control'.

The transport assessment indicates trip generation will go up by 7 for the new use, but the air quality assessment indicates that there will be less pollution than with the existing use. HDV movements are the same for both 2022 scenarios, therefore the reason for the lower NO<sub>2</sub> levels associated with the new development are unclear. At the six receptor locations considered

(assumed to be at ground floor level), no NO<sub>2</sub> exceedances were indicated in the modelling for 2012 or 2022.

As the development is in and will cause increases in an area already suffering poor air quality the following is requested:

#### Section 106

Section 106 obligation of £12,500 should be sought for contribution to the air quality monitoring network in the area.

The following condition is recommended as a precaution as mechanical ventilation with heat recovery is indicated for the site, alongside natural ventilation. They need to ensure any air is drawn in from a clean location.

#### Air Quality Condition 1: Ingress of Polluted Air

Before the development is commenced a scheme for protecting the proposed accommodation from external air pollution shall be submitted and approved by the LPA. Verification information shall be submitted for any works which form part of such a scheme, which shall be completed before any part of the development is first occupied or used and measures put in place to ensure it is maintained for the life of the development.

REASON: To safeguard residential amenity in accordance with policy OE1 of the Hillingdon Unitary Development Plan.

Notes: In areas where there the air pollution levels are above, or close to, the national and European limits, this is designed to safeguard the future residents/users of the site from the ingress of the poor outdoor air quality. The design must take into account climate change pollutants and ensure there are no trade-offs between local and global pollutant emissions. Suitable ventilation systems will need to: take air from a clean location or treat the air and remove pollutants; designed to minimise energy usage; be sufficient to prevent summer overheating; have robust arrangements for maintenance.

The following condition is advised in order to ensure relevant information with regard to pollution emissions from the final energy provision at the site is provided, so that mitigation measures can be agreed and implemented if necessary, as part of the development. Of particular concern would be the units that may be impacted by CHP stack emissions.

#### Air Quality Condition 2 - Control of Air Pollution

Before the development is commenced, details of emissions and details to limit and/or control air pollution for any CHP/boilers shall be submitted to and approved in writing by the Local Planning Authority. The agreed measures shall be implemented prior to the occupation of the development and thereafter maintained for the lifetime of the development unless otherwise agreed in writing by the Local Planning Authority.

REASON: In order to safeguard the amenities of the area, in accordance with Policy OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

Please consider the following comments with regard to land contamination.

#### Land Contamination

The Site Investigation is limited and identifies a number of potentially contaminating former uses on site including a milk depot, joinery works and light industrial uses (kitchen workshop fabricators, a sheet metal fabricators and a car body workshop), and potentially contaminating uses adjacent to the site such as a former printing works. The main areas of contamination identified in the report are associated with two areas fuel storage and slightly elevated PAHs (polycyclic aromatic hydrocarbons particularly in the vicinity of WS5, WS6 and WS7) in made ground around the site associated with ashy soils.

Part of the site was fire damaged. It is unclear if any materials used to put out the fire may have caused contamination. There are also references to cement asbestos sheeting and suspected cement asbestos roof, refrigeration units/areas, an old electrical plant room, and rubble, soil and general waste being dumped on part of the site. The report notes they could not investigate the area of the former joinery works due to access issues.

Of the areas investigated, contamination risks to the proposed use was identified in the vicinity of the diesel tank only. The report recommends the consultants be present when tank removal works are undertaken, and further investigation be undertaken once the floor slab has been removed. It also indicates groundwater monitoring wells should be retained so monitoring can be undertaken prior to the construction phase (during the one round of groundwater monitoring undertaken, hydrocarbon contamination of groundwater was noted in WS6, with slightly elevated PID (photo-ionisation detector) readings associated with VOCs (volatile organic compounds)). It is advisable to have a discovery strategy/watching brief in place before any hard standing or floor slabs are removed to ensure any suspected contamination is reported and investigated. The report also indicates the need for protective pipe work due to areas impacted by PAHs, and the provision of a verification report for the remedial works to be provided to the local authority.

Three rounds of gas monitoring work has been undertaken using the nine combined gas and groundwater monitoring wells. No methane was reported as detected in the wells, and the highest recorded carbon dioxide (CO<sub>2</sub>) level was 3.8 %. Depleted oxygen was also indicated in the monitoring wells with slightly elevated CO<sub>2</sub>. Although all monitoring visits were undertaken at high atmospheric pressure, barometric pressure was indicated as falling in all instances. This appears to be the case in at least one instance. The report indicates ground conditions are such that gas risk is probably low. There is insufficient information with regard to risks associated with VOCs.

The application appears to include a basement area (car parking, storage, energy centre) at the above site, with the exception of the 'south western' corner. The extent of the basement area is unclear, but it is likely some made ground including some of the contaminated ground will have to be removed from the site as part of the development works. It is anticipated all basement areas will require adequate ventilation, including the storage areas and energy centre, therefore gas and vapour protection measures may not be necessary. Clarification is required with regard to areas of the building without a basement, and the extent of any gas or vapour risks in these areas, if any.

Based on the report, the only remedial works identified are associated with tank removal and the use of protective pipes. There is a possibility there may be more than two tanks at the site. Further clarification is required with regard to remedial works at the site, including the areas that are required to be investigated, the provision of a discovery strategy/watching brief to be maintained during works, the extent of the proposed remedial verification works and soil testing to be implemented for garden and landscaped areas, including the contamination criteria to be used.

Please ensure the Environment Agency is consulted with regard to possible pile foundations, SUDs and potential groundwater contamination issues. There is a lack of monitoring for VOCs, particularly chlorinated solvents in the groundwater at the site.

The standard contaminated land condition is advised for any permission that may be given

alongside a separate soil contamination condition for landscaped areas including the roof gardens (for any reused and imported soils). (i) (a) has been met, and (i) (b) has been partly met.

#### Contaminated Land Condition

(i) The development hereby permitted shall not commence until a scheme to deal with contamination has been submitted in accordance with the Supplementary Planning Guidance Document on Land Contamination and approved by the Local Planning Authority (LPA). The scheme shall include all of the following measures unless the LPA dispenses with any such requirement specifically and in writing:

(a) A desk-top study carried out by a competent person to characterise the site and provide information on the history of the site/surrounding area and to identify and evaluate all potential sources of contamination and impacts on land and water and all other identified receptors relevant to the site;

(b) A site investigation, including where relevant soil, soil gas, surface and groundwater sampling, together with the results of analysis and risk assessment shall be carried out by a suitably qualified and accredited consultant/contractor. The report should also clearly identify all risks, limitations and recommendations for remedial measures to make the site suitable for the proposed use; and

(c) A written method statement providing details of the remediation scheme and how the completion of the remedial works will be verified shall be agreed in writing with the LPA prior to commencement, along with details of a watching brief to address undiscovered contamination.

(ii) If during development works contamination not addressed in the submitted remediation scheme is identified, the updated watching brief shall be submitted and an addendum to the remediation scheme shall be agreed with the LPA prior to implementation; and

(iii) All works which form part of the remediation scheme shall be completed and a comprehensive verification report shall be submitted to the Council's Environmental Protection Unit before any part of the development is occupied or brought into use unless the LPA dispenses with any such requirement specifically and in writing.

REASON: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy OE11 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### Condition to minimise risk of contamination from garden and landscaped areas

Before any part of the development is occupied, site derived soils and imported soils shall be independently tested for chemical contamination, and the results of this testing shall be submitted and approved in writing by the Local Planning Authority. All soils used for gardens and/or landscaping purposes shall be clean and free of contamination.

Note: The Environmental Protection Unit (EPU) must be consulted for their advice when using this condition.

#### REASON

To ensure that the occupants of the development are not subject to any risks from soil contamination in accordance with policy OE11 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### HIGHWAYS

There has been extensive dialogue between the development and the Council's Highways Officer

in relation to detailed transport matters.

No objection is raised to the development in relation to traffic generation or impacts on the operation of the highway network.

There would be 198 parking spaces proposed, 1 for a general site manager and 197 to serve the residential units. This equates to a parking ration of 0.95 spaces per unit. This level of car parking is similar to the levels approved on other developments within Yiewsley and is considered entirely appropriate having regard to the sites location, particularly in relation to the town centre and station which will be served by Crossrail.

The plans also demonstrate cycle storage in compliance with the Council's standards and Refuse/Recycling storage which would be appropriate subject to a refuse management strategy which could be secured by way of a legal agreement.

Initial concerns relating to layout and servicing have been largely addressed through the submission of additional information and amended plans. It is considered that the outstanding details matters can be suitably addressed through the imposition of an appropriate legal agreement and conditions.

On balance, it is not considered that there are any highways grounds on which refusal of the application could be justified.

#### ACCESS OFFICER

In assessing this application, reference has been made to London Plan July 2011, Policy 3.8 (Housing Choice) and the Council's Supplementary Planning Document "Accessible Hillingdon" adopted January 2010. Compliance with all 16 Lifetime Home standards (as relevant) should be shown on plan.

The development would include 25 car parking spaces undercover at lower ground level. Each building will be accessible via a lift core, except for Building A which would be accessed via a pedestrian ramp from an open area in front of the building that provides natural surveillance. All footpaths would provide a gradient shallower than 1:20 to avoid the need for ramps.

The wheelchair flats have been designed by reference to the requirements of Habinteg - Wheelchair housing design guide, second edition. All units have a fully accessible bathroom and in each case the main bedroom is set out with the relevant clear zones. The larger wheelchair apartments, 4 persons and above, have a second accessible toilet. The majority of wheelchair flats are at ground level with the remainder at first, second, third and fourth floors of building C. All buildings would have level access to lifts and generous lobbies that provide access to all floors. Private balconies and terraces would have no-step thresholds to facilitate easy access to external spaces. All shared amenity spaces are accessed by lifts to roof levels. Access to refuse stores would be gained by the accessible lifts with refuse storage areas at either ground level or lower ground level. The refuse stores are sized to enable a wheelchair turning circle.

Notwithstanding the above observations, the following comments are provided:

1. Every core in each block containing 15 flats or more should provide 2 passenger lifts to ensure reliability of access for wheelchair users to their accommodation above ground floor. It is considered to be unacceptable to provide wheelchair accessible accommodation above ground floor in situations where only one lift would be provided.

2. All Lifetime Home Standard bathrooms (the remaining 216 flats) should ensure a layout which

complies with the specifications detailed in the above Supplementary Planning Document (adopted January 2010).

3. A minimum of one bathroom per flat should include and specify floor gulley drainage to allow for future installation of a level access shower facility.

Currently unacceptable. Provided that revised plans are received to address the above accessibility issues, no objection would be raised.

OFFICER COMMENT: The scheme has been amended, with the number of units reduced by 33. A condition is recommended requiring that all flats meet lifetime homes standards.

Additional access officer comments: This is a revised lower ground floor car parking plan showing wheelchair accessible parking spaces with both a 1.2m buffer zone to the side and rear of each parking space, as requested by TfL. In the course of making this amendment, the number of wheelchair accessible spaces has been reduced from 23 to 21. Whilst this does not provide a ratio of 1:1 for the 25 wheelchair accessible flats, it maintains a provision of 1:1 disabled parking for each of the 21 wheelchair units which are required by policy. The additional 4 units would still provide higher than necessary levels of accessibility.

#### TREES & LANDSCAPING

The site is occupied by a disparate collection of industrial buildings (some of which are vacant or in poor condition) and service yards situated at the southern end, and to the west the retail units edging Yiewsley High Street. Occupying an area of 0.8685 hectares, it is bounded to the north-east by Bentick Road beyond which lies the Grand Union Canal and to the south by Tavistock Road, beyond which is the railway line and West Drayton Station. The terraced houses along Winnock Road, to the north-west of the site, currently form the interface between the industrial area and the neighbouring residential area.

There are no trees or other landscape features of merit on the site. The only tree which is close to the site boundary is an off-site highway tree (ref: 01197, a Norway Maple) situated within the Tavistock Road footway close to the south-east boundary of the site.

There are no trees on, or close to, the site which are afforded special protection by Tree Preservation Order or Conservation Area designation.

The proposal is to demolish all of the existing buildings on the site enclosed by Bentinck Road and Tavistock Road prior to implementing a comprehensive redevelopment of the site. The proposal is to provide three buildings of part 9 storeys, part 7 storeys and part 5 storeys comprising 241 residential units, 190 sq.m (approx) of Use Class D1 floor-space, and 64 sq.m (approx) of Use Class A1 floor-space with associated public and private amenity space, hard and soft landscaping, lower ground floor parking for vehicles and bicycles, and alterations to 9 High Street to form new pedestrian route (involving demolition of all existing buildings).

Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

i) No trees or other significant landscape features will be affected by the proposal.

ii) The Design & Access Statement (D&AS) describes the development proposal in terms of CABE's guidance on tall buildings in section 4.0. The development will be bisected by a pedestrian route with the potential to link through to the High Street via the ground-floor of 9 High Street (currently a retail unit). Behind the High Street and between the two buildings a curvilinear landscaped amenity space will be created providing public / communal open space at a raised / podium level.

iii) The D&AS explains the layout and scale in section 6.2 with the building behind the High Street



at 5 storeys. The rear building has a range of heights from 5 and 6 storeys in the wings up to 9 storeys in the centre.

iv) The impact of the development is assessed in section 7.0 of the D&AS, based on the 11No. Verified View Images, by Harris Kalinka Ltd. To summarise, the proposed development will be most visible from viewpoints 06 - Station Road, West Drayton (looking north), 07 - Horton Road, Yiewsley (looking west), 08 - St Stephens Road (looking south) and 09 - Trout Road (looking south), as illustrated in the 'rendered photorealistic images'.

v) The amenity space provision is expressed in plan view in section 9.0 Access: Amenity which indicates the provision of three smaller ground level shared amenity spaces in addition to the larger central space and the intensive green roofs on the taller block at varying levels.

vi) Section 8 of the D&AS illustrates the proposed appearance of the development with selected computer generated graphic images of the central amenity (landscaped space) and a number of roof garden / terraces at high level.

vii) Section 10 Key Strategies describes the Landscape Strategy for the site. This includes the crescent-shaped park at the centre of the site, which will include lawns, planting and 'natural' play / activity areas. The shared courtyards are to include play space for toddlers (0-4 yrs), lawns, decked areas, seating and 'abundant planting'. Private terraces will be sheltered with evergreen hedge planting to define boundaries and separation between the public amenity spaces and the private space. Green roofs are to include extensive roofs (for biodiversity) and intensive roofs (roof gardens for the use and enjoyment of residents).

Churchman Landscape Architects have illustrated the design concepts for the shared courtyards, play strategy, and the roof strategy.

viii) Finally, maps are used to demonstrate the provision and proximity of public open space, biodiversity, play provision and routes within an 800 metre radius of the site.

ix) A 'Pedestrian Level Wind Microclimate Assessment' (Desk Study) by RWDI, using the 'Lawson Comfort Criteria' considers the effect of the prevailing winds - south-westerly throughout the year and the secondary, colder, wind from the north-east which is most prevalent in the spring. In Appendix B the report acknowledges the value, and recommends the use, of soft landscaping which can be used effectively to create naturalised shelter within and around the site. This will be essential to mitigate the microclimate created by tall buildings.

x) Amongst the conclusions (section 8, items 3-5) the microclimate assessment recommends that: Entrances located in zones suitable for leisure walking would benefit from localized, detailed design to mitigate the leisure walking conditions that are expected during the windiest season. This mitigation could take the form of simple localized screening of the entrances or the relocation of entrances to more sheltered parts of the elevation. In ground level amenity areas, the wind microclimate is expected to be suitable for a mix of sitting and standing during the summer months. This mixed wind environment may be acceptable to the design team but, if not, planting and soft landscaping could be implemented to create shelter from prevailing winds. At terrace level, mitigation measures have been recommended in the form of perimeter screening to a height of 1.5m (maximum) with additional screening or planting in central parts of the larger terraces to prevent the wind from blowing back down onto the terrace. The intention would be to create sitting conditions during the summer season on the terraces.

xi) An ecological assessment by Applied Ecology Ltd concludes (section 4) that no evidence of roosting bats was seen in association with any of the buildings and that no further survey work for bats or other ecological receptors is considered necessary.

xii) Landscape conditions are necessary to preserve and enhance the visual amenities of the locality and to ensure that adequate facilities are provided in accordance with the proposed layout.

No objection, subject to the above considerations and conditions COM6, COM7, COM9 (parts 1, 2, 3, 4, 5 and 6).

#### DESIGN & CONSERVATION

The Council's Design Officer raised objections to the original scheme principally relating to the scale and massing of the buildings.

The scheme has been substantially amended to reduce the height of the building and remove significant elements of built form serving re to rationalise the development. The amendments have substantially improved the relationships between the building and the open space within the scheme while also maintaining an appropriate relationship with the surrounding built form. Having regard to the high quality design of the individual building it is considered that the scheme will provide an appropriate layout and appearance serving to enhance the area.

There are concerns regarding the impact of the pedestrian walkway through no.9 high street which is an attractive building. However, the building is not in a Conservation Area nor is it listed or locally listed. The scheme has been amended so that the scheme creates a smaller pedestrian walkway which retains the majority of this building architectural features. On balance, it is considered that the harm of creating the proposed walkway would be limited and would be significantly outweighed by the benefits provided by the walkway in terms of permeability between the scheme, the high street and the station.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

#### **PARTIAL DEMOLITION**

The site is located in a secondary shopping frontage within a Town centre. The Unit at 9 High Street is currently in A1 use.

Policy S6 of the Local Plan Part 2 states that to safeguard the amenities of shopping areas, the Local Planning Authority will grant permission for changes of use of Class A1 shops if:

a) The proposal will not be detrimental to visual amenity where the premises form part of a statutory or locally Listed Building or are located within a Conservation Area.

Comment: The application building is not listed and does not lie within a Conservation Area.

b) A frontage of a design appropriate to the surrounding area is maintained or provided:

Comment: The proposal is to create a 'cut through' by removing the shopping unit. It is considered that, on balance, the cut through will be in keeping with the facade of the the terrace of shops.

c) The proposed use is compatible with neighbouring uses and will not cause unacceptable loss of amenity to nearby residential properties by reason of disturbance, noise, smell, fumes, parking or traffic related problems:

Comment: No such issues are considered to arise.

d) Has no harmful effect on road safety and does not worsen traffic congestion or disrupt bus operations.

Comment: No such issues are considered to arise.

The application site is located within the Secondary Shopping Area of West Drayton Centre. Therefore Policy S11 of the Local Plan Part 2 would require the change of use of the premises to ensure the remaining retail facilities in the Secondary Shopping Area would be adequate for the need of the retail area. In addition the development should not lead to a concentration of non-retail uses which might harm the viability of the retail

centre.

The proposed scheme would not result in the loss of any A1 shopping units. Whilst a cut through is proposed through one of the shopping units, the A1 unit will remain, albeit with a marginally smaller footprint than that which currently exists.

No objection is raised to the loss of B1 Office space. There would be no objection to the proposed commercial space.

#### LOSS OF EXISTING BUILDING

Policy LE4 states that proposals which involve the loss of existing industrial floorspace or land outside designated industrial and business areas will normally only be permitted if:-

- (i) The existing use seriously affects amenity, through disturbance to neighbours, visual intrusion or an adverse impact in the character of an area; or
- (ii) The site is unsuitable for industrial redevelopment because of the size, shape, location or lack of vehicular access; or
- (iii) There is no realistic prospect of the land being used for industrial and warehousing purposes in the future; or
- (iv) They are in accordance with the council's regeneration policies for an area.

The applicant has submitted a Commercial Viability Report, which establishes the general level of demand for B1, B2 and B8 uses in the area, assessing the likelihood of the site being let in the long term on rents at (or close to) market rental levels, and alternative commercial uses of the application site. The evidence is considered robust.

It must be noted that use of the word 'or' at the end of each of these four criteria implies that they are mutually exclusive, meaning Policy LE4 will have been satisfied even if only one of the four criteria has been met. In the case of this application, it is considered that all four criteria have been met.

In visual terms, the collection of existing buildings detracts from the character and appearance of the area and the redevelopment proposal provides a timely opportunity to provide an innovative architectural response.

The marketing report sets out that there is no realistic prospect of the current buildings being re-let at anything approaching market rental rates or even at rents that would support the costs necessary to keep the properties in a decent state of repair. The result is the site will likely continue to spiral into decline.

With negligible prospect of a future landowner being likely to make a significant investment in redeveloping the site for commercial use, the marketing report concludes that the site has come to the end of its economic life. Further, continuation of the current temporary uses, the partial vacancy and appearance of dereliction is harmful to the economic well-being and vitality of the town centre as well as its appearance.

The site is considered, by virtue of its town centre location and designation within the Heathrow Opportunity Area, as being suitable in principle for a residential-led regeneration of the site.

In order to specifically address Policy LE4, Houston Lawrence's report is considered to sufficiently demonstrate that the site is no longer suitable for commercial use, and therefore suitable for release to another use. The report analyses the industrial property

market within the Yiewsley and West Drayton area in order to determine the current levels of market activity in terms of supply and demand for industrial/warehouse premises, by examining the amount and nature of vacant industrial and warehousing floorspace in the area.

Taking into consideration the size of the buildings on site, their condition, locational constraints such as site accessibility and the proximity of other more attractive commercial locations in the area, the Houston Lawrence report notes a number of key issues:

- i) Globe House, due to its stark appearance, unusual narrowness, inadequate floor-to-ceiling heights and dilapidated condition, no longer represents an attractive proposition for a potential occupier. The building has come to the end of its economic life. The cost of refurbishing the building to an acceptable standard would be unlikely to be recouped over the lifetime of a letting contract.
- ii) The buildings to the rear of the site, including the industrial buildings on the former Dairy Crest site, are single storey industrial/warehouse premises that have also come to the end of their economic life. The buildings are only occupied by virtue of their extremely low rental levels and tenant-friendly leases which include no obligations to repair or maintain the buildings, and have generous break clauses. To achieve anything like the full market rental level, these building would need a substantial financial investment, possibly involving demolition and redevelopment. As with Globe House, it is highly unlikely that such an investment would be commercially viable.
- iii) The site suffers from severe locational constraints. In particular, the narrow one-way access from Bentinck Road and the presence of parked cars on Tavistock Road make access to the site for industrial purposes extremely challenging.
- iv) There is currently more than 600,000 sq ft of B1 accommodation in Hillingdon, ranging from modern offices to basic small units. The average time on the market is 1,000 days (i.e. approximately three years). There is also currently in excess of 270,000 sq ft of B2 and B8 accommodation in the borough, again in a range of unit sizes. The average time that these premises are on the market is approximately 394 days. Hence, there is a sufficient supply of existing B1, B2 and B8 premises to meet market demand.
- v) The application site is not identified by the Council as one of its Preferred Industrial Locations (PILs), thereby adding weight to the report's conclusion that growth is likely to centre on the former MoD site at Uxbridge and at Stockley Park both of which are PILs.

The report demonstrates that all four of the LE4 policy requirements are broadly met: there is little demand for industrial and warehousing units; the units are only occupied because of their heavily-discounted rents; there is significant capacity for businesses to occupy more accessible and prestige premises at Stockley Park and the MoD site at Uxbridge; the size and layout of the existing premises are unsuitable in terms of modern office and industrial requirements including ease of access to the site; and the redevelopment for residential use would, in principle, be acceptable in land use terms.

In considering the principle of the development the location of the site within the Heathrow Opportunity Area is a key consideration. Strategic Objective S)23 of the Local Plan Part 1 is to develop a strategy for the area in order to ensure local people benefit from economic and employment growth and social and environmental improvements. The Local Plan Part 1 further sets out a general direction of growth within Yiewsley and West Drayton to be achieved through a mix of uses, including residential, in order to ensure the benefits to be provided by the Crossrail connection are maximised.

The National Planning Policy Frameworks support for sustainable economic growth is also or principal significant to consideration of this case.

It is considered that the proposed development would serve to significantly enhance a key site in Yiewsley, within proximity to the high street and station, which is currently run down and underutilised. The development would enhance the quality of the built environment, provide additional homes and generate additional footfall and activity within the high street. All of these factors and the development overall would contribute to the economic growth, the regeneration of the area and the vitality of the centre and weigh significantly in favour of the development.

#### **7.02 Density of the proposed development**

The site currently has a Public Transport Accessibility Level of 3. The proposal is for 208 units with a total of 621 habitable rooms, which equates to 2.99 habitable rooms per unit. The proposed scheme would have a density of 239.1 units/hectare or 713.8 habitable rooms per hectare.

The PTAL of the site at present is 3 (however there is a committed major infrastructure project in the form of Crossrail which will increase the PTAL of the site to 4 within the development plan period). This is a major driver towards the Council's adopted strategic objective which seeks to secure growth within Yiewsley/West Drayton during the development plan period and achieving this objective will require the Council to consider committed and possible future enhancements which will serve to facilitate this growth. Accordingly, it is considered that the application should be assessed having regard to the improved PTAL which would be provided by Crossrail.

The Public Transport Accessibility Level would rise to at least a PTAL 4 when Crossrail opens in around 2018. The London Plan guidelines for PTAL 4 allows 70-260 units per hectare or 200-700 habitable rooms per hectare. The proposal will comply with the London Plan density guidance when the PTAL increases.

The density of the development is therefore considered to be appropriate.

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The proposal site does not lie in an archaeological priority area, Conservation Area, does not contain any listed buildings and is not in an area of special local character.

#### **7.04 Airport safeguarding**

No airport safeguarding issues arise from the proposed development.

#### **7.05 Impact on the green belt**

The site does not lie in the Green Belt.

#### **7.07 Impact on the character & appearance of the area**

Policy BE13 states that new development will not be permitted if the layout and appearance fail to harmonise with the existing street scene or other features of the area which the local planning authority considers it desirable to retain or enhance.

Policy BE26 states that within town centres the design, layout and landscaping of new buildings will be expected to reflect the role, overall scale and character of the town centres as a focus of shopping and employment activity.

London Plan Policy 7.1 sets out a series of overarching design principles for development in London and policy 7.6 seeks to promote world-class, high quality design and design-led change in key locations. In addition to Chapter 7, London Plan policies relating to density (3.4) and sustainable design and construction (5.3) are also relevant.

The surrounding area is characterised by a mix of development ranging from more

traditional rows of terraced properties with retail at ground floor level and residential or office use above, to more modern and larger scale commercial and residential buildings.

The site currently comprises a mix of industrial and commercial buildings of a variety of ages, styles and heights, although the maximum height at present is 4 storeys along the Bentinck Road frontage. Much of the surrounding area comprises two and three storey buildings, with the taller buildings, some up to 5 storeys in part, located toward the town centre and along the canal. The building on the High Street frontage proposed for partial demolition to accommodate the new access, is also particularly attractive and one of the few buildings of any architectural/townscape merit remaining on this part of the High Street.

The Urban Design Officer raises no objections to the scale, height and massing of the amended proposal. It is considered that, given the positioning of the building within the site and the increase in height and massing towards the centre of the site, the proposed buildings would not appear unduly prominent within the street scene and would be compatible with the scale of surrounding consented residential development. No objections are raised to the siting of the play area.

The external design of the buildings and proposed building materials maintain a balanced and appropriate design response with regard to the scale and context of the site. It is considered that a condition should be imposed on any permission requiring the submission of external materials details prior to the commencement of works.

Subject to compliance with this condition, it is considered that the scheme is compliant with Policies BE13, BE19 and BE21 of the Local Plan, relevant London Plan policies and design guidance.

#### **7.08 Impact on neighbours**

In relation to outlook, Saved Policy BE21 requires new residential developments to be designed to protect the outlook of adjoining residents. The design guide 'Residential Layouts' advises that for two or more storey buildings, adequate distance should be maintained to avoid over dominance. A minimum distance of 15m is required, although this distance will be dependent on the extent and bulk of the buildings.

Policies BE20 and BE24 seek to ensure that new development does not generate adverse impacts in respect to sunlight and privacy. Because of the orientation of the site, and the size and siting of the proposed building, no significant loss of daylight and sunlight to adjoining properties would result from this development. The proposed development is considered to be consistent with Policies BE20 and BE24 of the Local Plan.

#### **7.09 Living conditions for future occupiers**

Policy BE23 of the UDP requires the provision of external amenity space, sufficient to protect the amenity of the occupants of the proposed and surrounding buildings and which is usable in terms of its shape and siting. The Council's SPD Residential Layouts specifies amenity space standards for flats.

Hillingdon Design and Accessibility Statement (HDAS) Supplementary Planning Document - Residential layouts, suggests that the following shared amenity space for flats and maisonettes is provided:

- 1 bedroom flat - 20m<sup>2</sup> per flat
- 2 bedroom flat - 25m<sup>2</sup> per flat
- 3+ bedroom flat - 30m<sup>2</sup> per flat

Based on the current accommodation schedule the required amenity space provision for 208 dwellings would be as follows:

44 x 20 = 880sq m  
123 x 25 = 3075sq m  
41 x 30 = 1230sq m  
total = 5185sq m

Following the Major Applications Committee meeting on 18th July, further discussions took place between Officers and the Planning Agent regarding the amenity space provision, particularly how the figures within the documentation submitted within the application were derived. During these discussions it came to light that the amenity space figures provided in the documentation were calculated incorrectly. An accurate assessment of the provision within the development having regard to these clarifications is provided below.

The current development proposal provides 5,217m<sup>2</sup> of amenity space in the form of shared amenity space at ground and roof level together with private balconies. Childrens play space is also provided. The amenity space provided is considered acceptable, in compliance with the Hillingdon Design and Accessibility Statement (HDAS) Residential Layouts and Saved Policy BE23 of the UDP.

Overall, it is considered that the scheme would provide for sufficient amenity space of a satisfactory quality. As such the provision of amenity space is considered to accord with Policy BE23 (which requires sufficient provision of amenity space for future occupiers in the interest of residential amenity).

#### UNIT SIZE

The London Plan (July 2011) sets out minimum room sizes for various sized residential units. The proposal is for 44 x 1 bedroom flats, 123 x 2 bedroom and 41 x 3 bedroom flats. The applicant submitted amended plans with all unit sizes meeting the minimum floor space standards as set out above. The scheme now accords with the London Plan (July 2011) minimum standard and is as such considered acceptable.

#### SUNLIGHT/DAYLIGHT

Policies BE20, BE23 and BE24 seek to protect the amenity of new residents by requiring adequate daylight, access, external amenity space and the protection of resident's privacy.

The applicant has submitted a daylight/sunlight assessment which indicates that the proposed residential units will all receive an adequate level of daylight and sunlight.

#### PRIVACY/OVERLOOKING

The Council's HDAS provides further guidance in respect of privacy, in particular, that the distance between habitable room windows should not be less than 21m. In this regard, the proposed unit windows are separated from other dwelling windows by more than 21 metres, which is consistent with the Council's Supplementary Planning Guidance. The placement of balconies on the northern elevation with a depth of 1m would not compromise compliance in this regard.

Whilst the scheme has been designed to ensure separation distances of at least 21m to existing neighbouring properties, there were initial concerns about separation distances between units within the proposed scheme.

Separation distances between habitable room windows of units within the scheme are 17.7m between Core B and Core C; 18m between Core A and Core B and 20.6m between Core E and Core G. There are also instances where the distance between a balcony and habitable room of a neighbouring flat is 12m, at the northern end of the site close to the Bentinck Road exit. However, following negotiations with the applicant amended plans have been submitted and each unit has been designed in such a way, using measures such as fins and screens, to prevent interlocking between and overlooking of the affected units. In this regard, Officers are satisfied that there would be no detrimental overlooking as to justify a refusal within the proposal.

As such the development is considered to provide an acceptable level of accommodation in accordance with Policies BE20, BE23 and BE24 of The Local Plan Part 2.

#### **7.10 Traffic impact, Car/cycle parking, pedestrian safety**

##### **CAR PARKING**

Policy AM14 states that new development will only be permitted where it is in accordance with the Council's adopted car parking standards. The proposal would provide 197 parking spaces for the 208 residential units, which equates to a ratio of 0.95 spaces per dwelling. The Highways Officer reviewed this proposal and considered that as the site is predominantly for 1 and 2 bedroom flats within a town centre location and has a PTAL score of 3, no objection was raised to the parking provision provided at the site subject to a condition. Therefore, the development is considered to comply with Policy AM14 of the Hillingdon Local Plan: Part 2 Policies.

##### **CYCLE PARKING**

Policy AM9 of the UDP requires cyclist facilities to be provided for development proposals. The Council's current cycle standards are 1 space per unit. The development would provide 256 cycle spaces for the 208 residential units together with 16 visitor cycle spaces and 10 cycle spaces for the commercial unit. This is in excess of the minimum parking standards. Therefore, the proposed development is in accordance with the adopted Parking Standards, Policy AM9 of the Hillingdon Local Plan: Part 2 Policies and Policy 6.9 of the London Plan (July 2011).

##### **TRAFFIC IMPACT**

The highways officer has reviewed the proposal and considered that the proposal would have an acceptable impact to traffic in the surrounding streets. They have also reviewed the location of the refuse and recycling storage and considers this to be acceptable, in terms of their collection and the impact of this to highway safety. Therefore, the development is considered to comply with Policy AM2 of the Hillingdon Local Plan: Part 2 Policies.

#### **7.11 Urban design, access and security**

Urban Design matters are discussed in detail under paragraph 7.07 of this report.

Security Issues have been incorporated into the design of the development and will be secured by a recommended condition.

The proposed layout and access are, on balance, considered acceptable.

#### **7.12 Disabled access**

Accessible Hillingdon requires all new residential units to be built to lifetime home



standards and 10% of units designed to wheelchair accessible standards. Further guidance is also provided on floor space standards for new residential development to ensure sound environmental conditions are provided on site.

Policy 3.8 of the London Plan and guidance within the HDAS - Accessible Hillingdon requires new residential developments to achieve Lifetime Homes Standards and for 10% of the units to be easily adaptable for wheelchair users. The scheme provides 25 wheelchair units, which equates to 10% of all units proposed. This is considered acceptable.

The Access Officer is satisfied with the level of facilities provided subject to minor revisions to the internal layout of the units to ensure full compliance with all 16 Lifetime Home standards (as relevant) and Wheelchair Home Standards for 21 of the units. Subject to a condition to ensure compliance, it is considered that the scheme accords with the aims of Policies 3.4 and 7.2 of the London Plan July 2011, the Hillingdon Design and Access Statement (HDAS) Accessible Hillingdon and Policy AM15 of the UDP.

### **7.13 Provision of affordable & special needs housing**

The London Plan sets the policy framework for affordable housing delivery in London. Policy 3.12 and 3.13 requires that boroughs should seek the maximum reasonable amount of affordable housing when negotiating on individual private residential and mix-use schemes, having regard to their affordable housing targets.

The Planning Obligations Supplementary Planning Document (supplementary planning guidance) adopted in July 2008 replaces the previous Supplementary Planning Guidance and updates the information and requirements of the Affordable Housing supplementary planning guidance adopted in May 2006. Chapter 5 on Affordable Housing from the Planning Obligations supplementary planning guidance paragraph 5.14 states, the council will always seek the provision of affordable housing on-site except in exceptional circumstances. The council will consider affordable housing tenure mix on a site by site basis with reference to housing needs, financial viability and/or the London Plan as appropriate.

Paragraph 5.22 states that the Council will seek the maximum reasonable amount of affordable housing when negotiating on individual private residential and mixed use schemes. The policy acknowledges a balance between the need for affordable housing that the economic viability of private housing developments. Where less than 35% affordable housing is proposed, a justification for the departure from the London Plan will be required, together with a financial viability appraisal to demonstrate that the maximum affordable housing provision is being delivered on site.

The application exceeds the threshold of 10 units and above, therefore affordable housing provision by way of a S106 Legal Agreement is required. A Financial Viability Assessment (FVA) has been provided. This has confirmed that the scheme is not capable of providing more than 14% of on site affordable housing. This level of contribution has been verified by a third party assessor and is therefore considered acceptable.

### **7.14 Trees, landscaping and Ecology**

Policy BE38 of the Unitary Development Plan Saved Policies states, amongst other things that development proposals will be expected to retain and utilise topographical and landscape features of merit.

The Council's Trees and Landscape Officer has raised no concerns regarding the landscape layout within the development site itself, which would provide for an appropriate

mix of hard and soft landscaping supplemented by new tree planting throughout the development.

#### **7.15 Sustainable waste management**

The residential element of the scheme would result in 37,050 litres of refuse per week. This would require at least 34 x 1100 litre euro bins to be provided for refuse storage within the site. The proposal makes provision for 35 x 1100 litre bins, which is considered adequate in terms of the quantum of refuse storage provided.

Refuse is provided in 7 refuse stores at basement ground floor level in each of the cores of the proposed buildings. A bin store is also provided for the B1 office unit. The level of waste and recycling provision is acceptable and vehicle tracking diagrams have been submitted demonstrating that the development can be adequately service by refuse vehicles.

#### **7.16 Renewable energy / Sustainability**

Policies within Chapter 5 of the London Plan require developments to provide for reductions in carbon emissions, including a reduction of 25% in carbon emissions, in line with Code for Sustainable Homes Level 4.

The application is supported by an assessment which indicates that the development has been designed to achieve Level 4 of the Code for Sustainable Homes. No objections are raised to the details submitted.

Subject to an appropriate condition to secure this implementation within the final design the scheme will comply with adopted policy.

#### **7.17 Flooding or Drainage Issues**

There are no specific flooding or drainage issues associated with this application. However, in the event that this application is approved, it is recommended that a sustainable urban drainage condition be imposed.

#### **7.18 Noise or Air Quality Issues**

The application site is on a busy industrial estate. It is therefore reasonable to expect that traffic noise is likely to be high enough to affect the residential amenities of future occupiers. It is considered that flatted development is acceptable in principle, subject to adequate sound insulation.

The acoustic assessment contains recommendations which, if implemented, would reduce noise to levels that comply with reasonable standards of comfort, as defined in British Standard BS 8233:1999 'Sound insulation and noise reduction for buildings - Code of Practice'. It is considered that the issue of sound insulation can be addressed by the imposition of suitable conditions, as suggested by the Council's Environmental Protection Unit. Subject to compliance with these conditions, it is considered that the scheme would be in compliance with Saved Policy OE5 of the UDP.

#### **7.19 Comments on Public Consultations**

Comments have either been dealt with in the body of the report or by way of recommended condition.

#### **7.20 Planning obligations**

Policy R17 of the Unitary Development Plan Saved Policies September 2007 states that the Local Planning Authority will, where appropriate, seek to supplement the provision of recreation open space, facilities to support arts, cultural and entertainment activities, and other community, social and educational facilities through planning obligations in conjunction with other development proposals.

The following Heads of Terms are sought:

1. Affordable Housing: 13% by habitable room, plus a review mechanism.
2. Education: a financial contribution in the sum of £770,426, please note that I have used the discounted sum here which we use when the council gets full nomination rights for affordable housing delivery
3. Health: a financial contribution in the sum of £87,777.35
4. Libraries: a financial contribution in the sum of £9,317.76
5. Air Quality: A contribution in the sum of £12,500
6. Construction Training: deliver an in-kind scheme to the value of the financial contribution.
7. Project Management and Monitoring: 5% of total cash contributions (£44,001.10)
8. Highways Works: as required by the highways engineer and to be completed prior to occupation as per normal.

The scheme is also liable for the Mayors Community Infrastructure Levy (£684874.98).

**7.21 Expediency of enforcement action**

None.

**7.22 Other Issues**

None.

**8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

## **9. Observations of the Director of Finance**

## **10. CONCLUSION**

The application does sit comfortably alongside the thrust of the Planning for Growth Ministerial Statement which states, amongst other things, that there is a pressing need to ensure that the planning system does everything it can to help secure a swift return to economic growth. It goes on to say that the Government's top priority is to promote sustainable economic growth and jobs, and that in determining planning applications appropriate weight should be given to the need to support economic recovery.

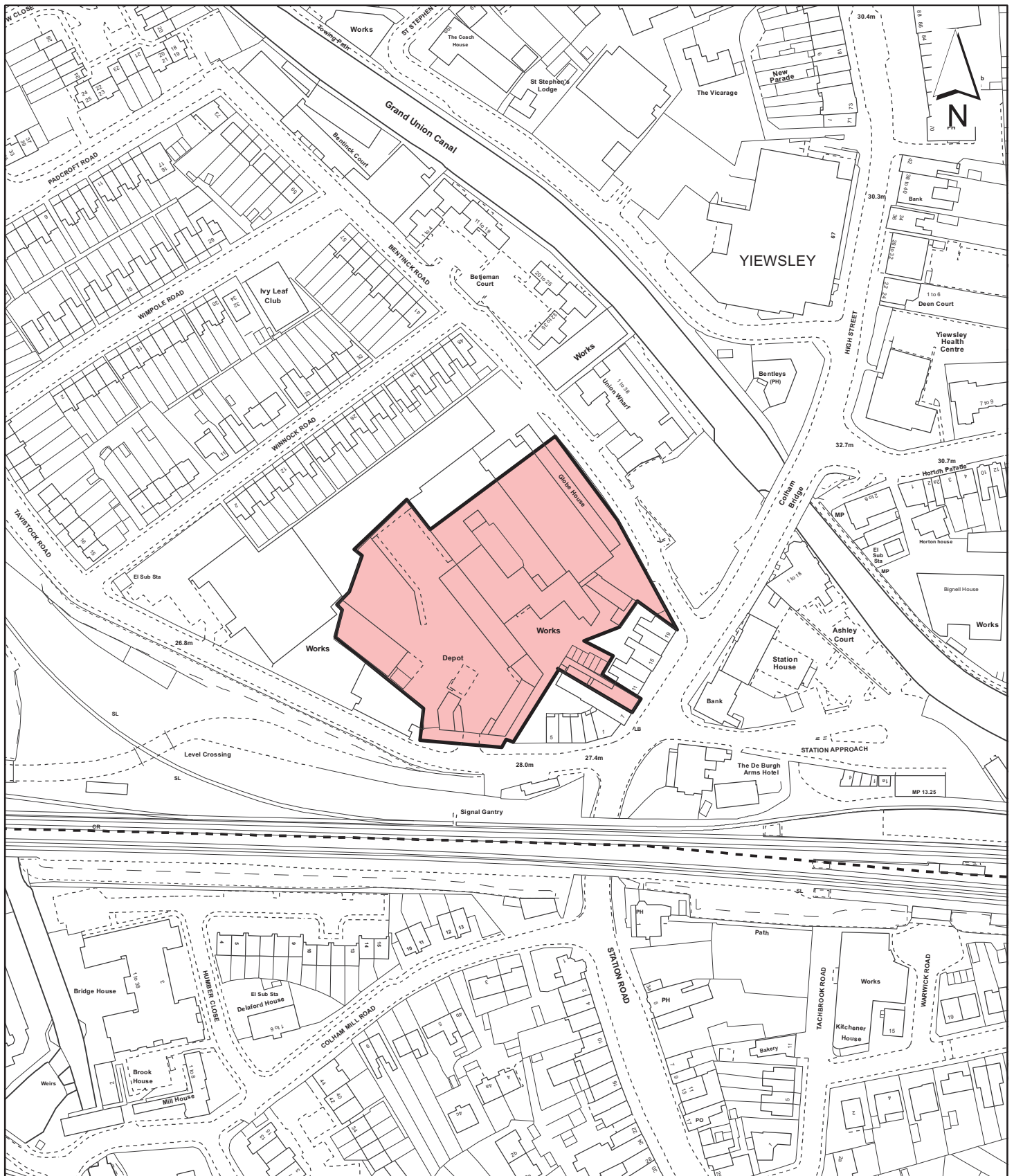
The scheme is considered acceptable in principle. It would provide adequately for future occupiers and not cause harm to the amenity of neighbours. Subject to conditions and planning obligations set out in the report, approval is recommended.

## **11. Reference Documents**

Hillingdon Local Plan Part 1 and Part 2.  
Hillingdon Design and Access Statement 'Residential Layouts'.  
The London Plan 2011.  
Supplementary Planning Document 'Accessible Hillingdon'.  
National Planning Policy Framework.

**Contact Officer:** Matt Kolaszewski

**Telephone No:** 01895 250230



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**Former Padcroft Works  
Tavistock Road  
Yiewsley**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:

**45200/APP/2012/3082**

Scale

**1:2,000**

Planning Committee

**Major Applications**

Date

**July  
2013**



**HILLINGDON**  
LONDON

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# Plans for Major Applications Planning Committee

7th August 2013



HILLINGDON  
LONDON



INVESTOR IN PEOPLE

## **Report of the Head of Planning, Sport and Green Spaces**

**Address** THE ARENA, STOCKLEY PARK STOCKLEY ROAD WEST DRAYTON

**Development:** Development of Stockley Arena to provide additional office accommodation, including a single-storey extension to the central rotunda and to the southern wing to create a new second floor, together with a two-storey extension above the existing refuse storage and deliveries area to the north.

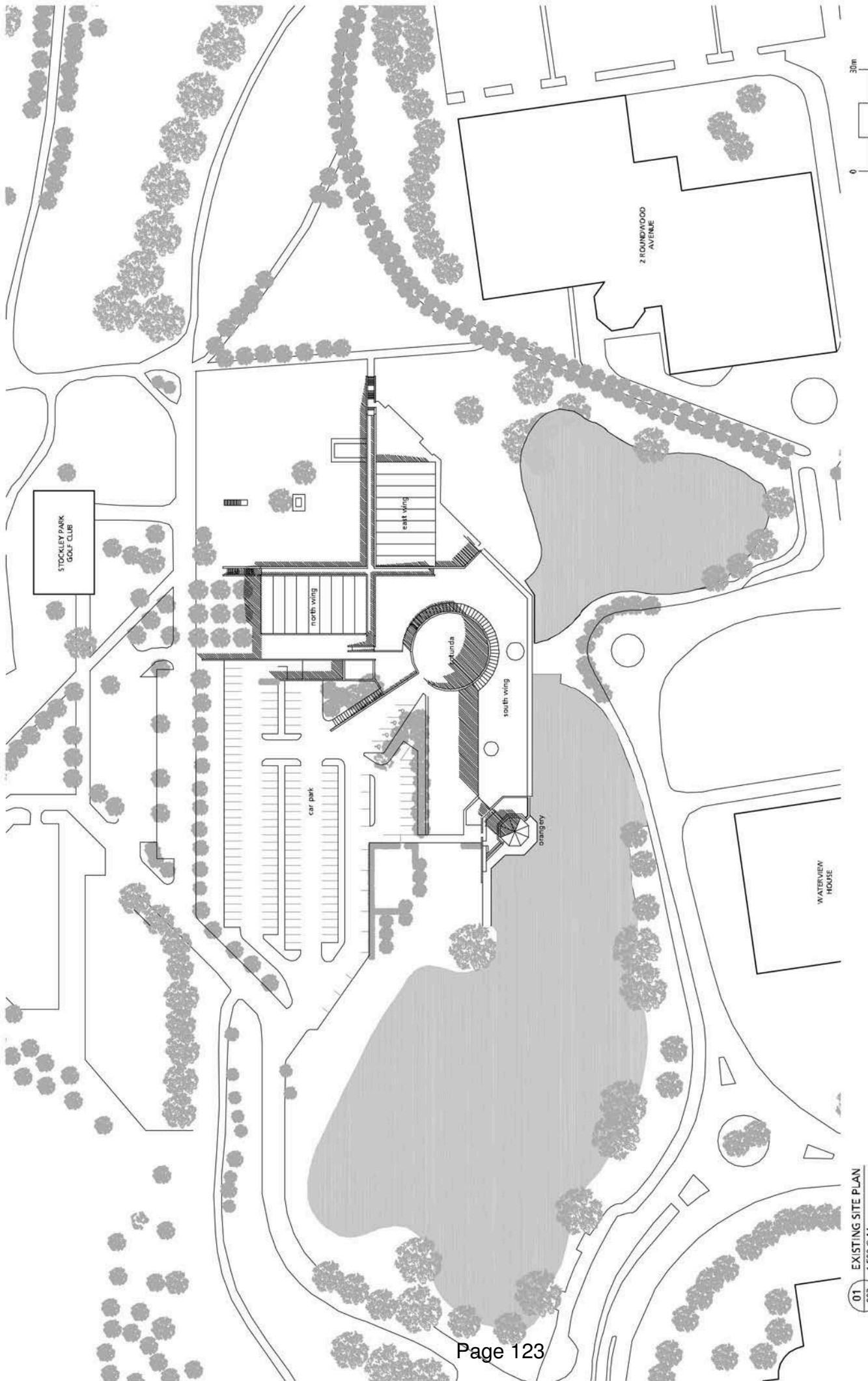
**LBH Ref Nos:** 37800/APP/2013/161

**Date Plans Received:** 23/01/2013

**Date(s) of Amendment(s):**

**Date Application Valid:** 06/03/2013



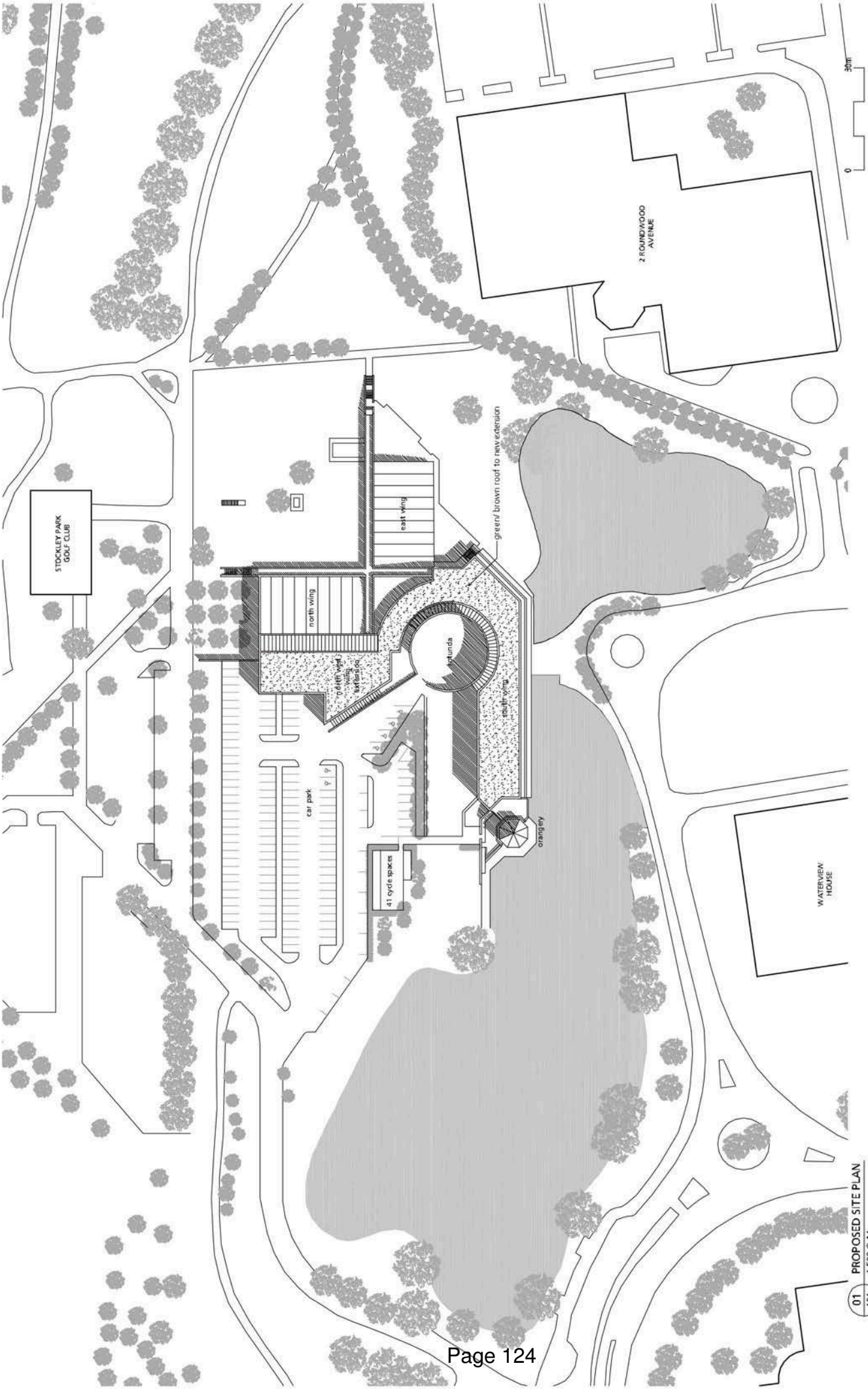


01 EXISTING SITE PLAN  
003 1:500 @ A1

Issue	Date	Description	By	City	Issue	Date	Description
01	21/10/17	Issued for Planning	EC	JS			

25, 107564, 1.0111, 3288192  
 A...4802-3 1-2017, A11 12, 24°V, 03°V, 833 844°-44°32'-43.131323 10111714.1317 110164203 10464334344.431739°-201°44'15.103, 10073  
 100-4903248  
 13-104, Colson Road  
 ECV, ET  
 www.stockleyarena.com

**msa architecture**  
 Project: STOCKLEY ARENA  
 HILLINGDON UB11  
 Scale: 1:500 @ A1  
 Date: 198-003  
 Issue: P1



01 PROPOSED SITE PLAN  
1:500 @ A1

Issue: 01  
Date: 27/10/17  
Description: Revised for Planning

Rev	Date	Issue	Description
01	27/10/17	01	Revised for Planning

01  
1:500 @ A1

Project: STOCKLEY ARENA  
HILLINGDON UB11

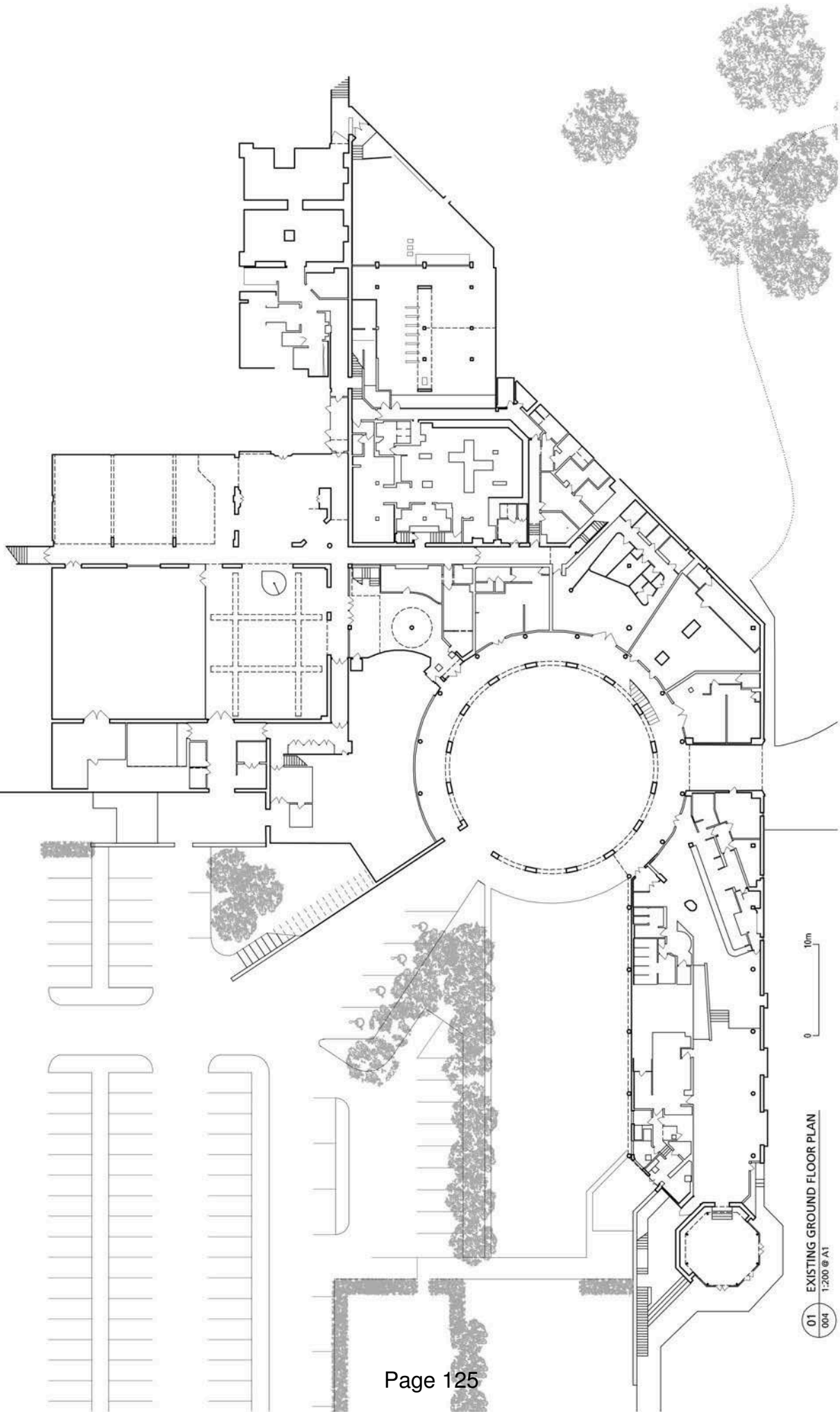
232 Denon House  
12-14a Colindale Road  
EC1V 9ET  
Tel: 020 4903348  
www.stockleyarena.com

THK: PROPOSED SITE PLAN

Scale: 1:500 @ A1

Eng No: 198 - 101

Issue: P1



01 EXISTING GROUND FLOOR PLAN  
004 1:200 @ A1



Issue	Date	Description	City	Issue	Date	Description	City	City
P1	21/01/13	Issued for Planning	DC	DC				

DO NOT SCALE OFF THIS DRAWING. ALL DIMENSIONS SHOWN ARE INDICATIVE ONLY. THIS MAY VARY TO CHANGE (ONCE MADE) BY FIELD SITE VERIFICATION AVAILABLE & ALL SUBJECT TO STATUTORY PLANNING REQUIREMENTS.

**msb**architecture

302 Cheshire House  
137-140 Goswell Road  
EC1V 7ET  
Tel: 020 7490 5248  
email: info@msb-architecture.com

Project: STOCKLEY ARENA  
HILLINGDON UB11

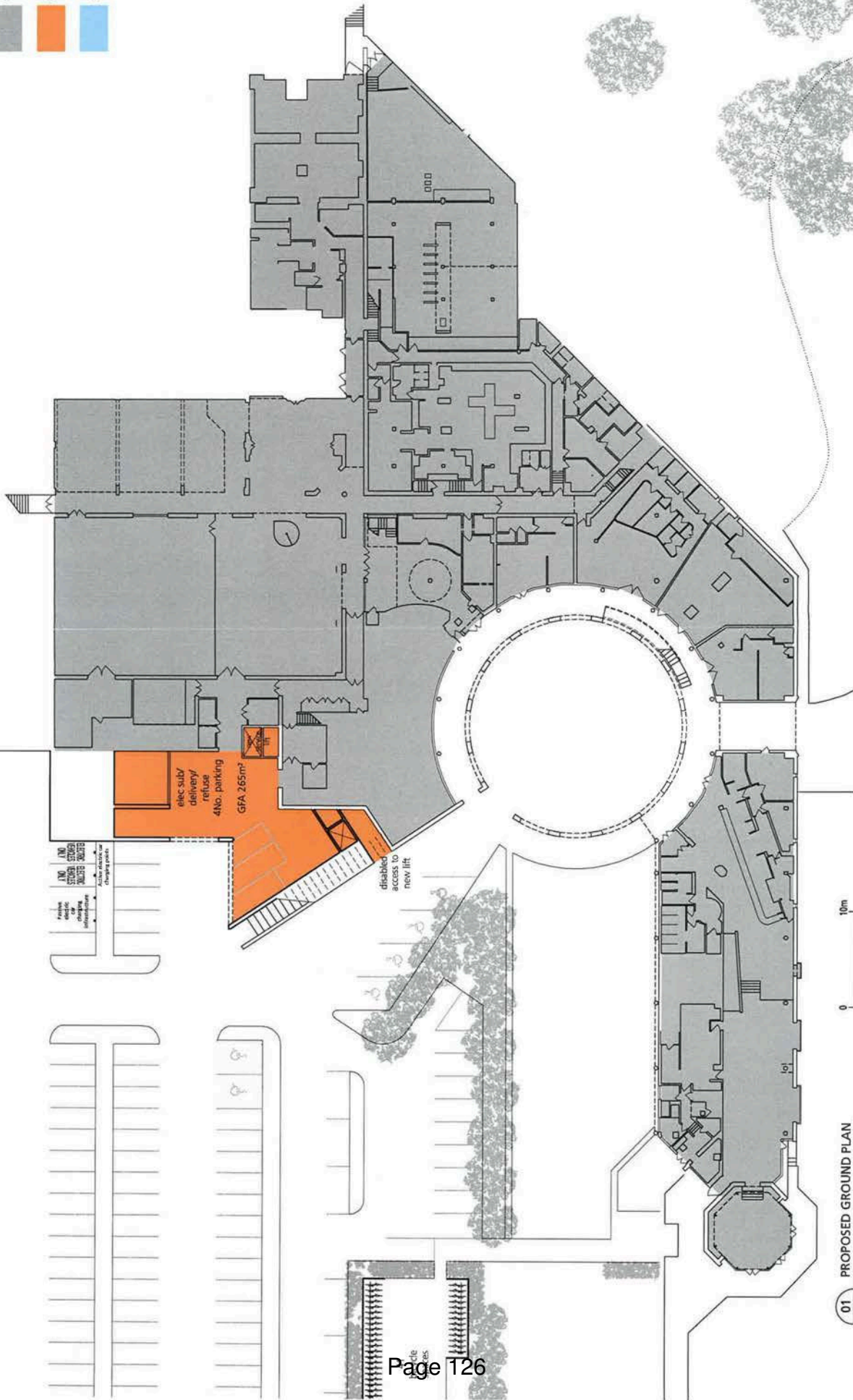
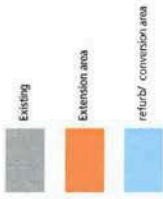
Title: EXISTING GROUND FLOOR PLAN

Scale: 1:200 @ A1

Day No: 198-004

Issue: P1

NB ALL LAYOUTS SHOWN ARE INDICATIVE ONLY. UNIT NUMBERS & SIZES MAY HAVE TO CHANGE ONCE MORE DETAILED SITE & STRUCTURAL INFORMATION OF EXISTING IS AVAILABLE & ARE ALL SUBJECT TO STATUTORY PLANNING REQUIREMENTS.



elec suby  
delivery  
refuse  
4No. parking  
GFA 265m<sup>2</sup>

disabled  
access to  
new lift



01 PROPOSED GROUND PLAN  
1:200 @ A1

**max architecture**  
132-140 Goswell Road  
London  
City EC1A 7ET  
Tel: +44 (0)20 7460 3249  
email: studio@maxarchitecture.com

Project: **STOCKLEY ARENA  
HILLINGDON UB11**

Title: **PROPOSED GROUND PLAN**

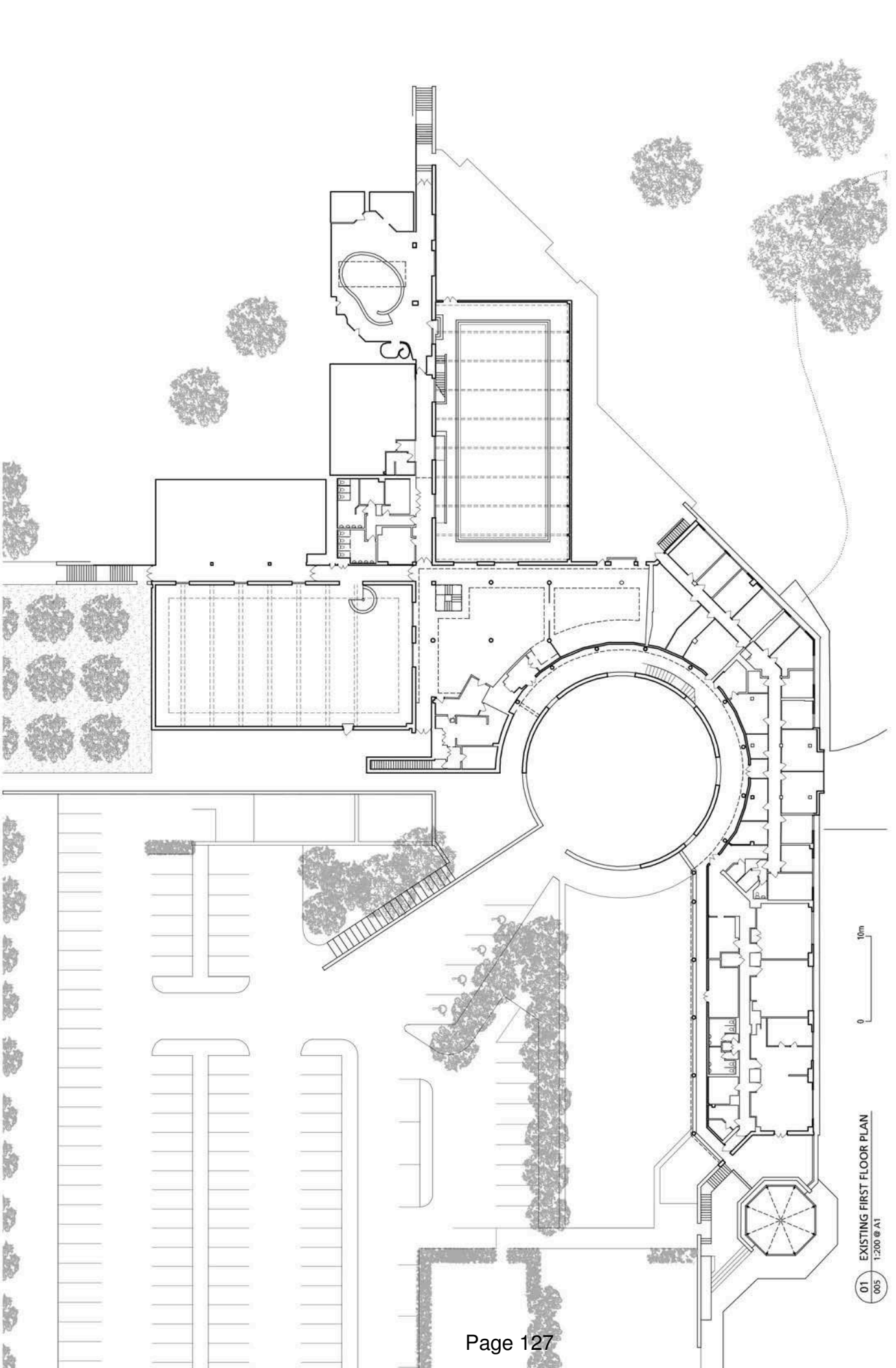
Scale: 1:200 @ A1

Dwg No: 198-102

Issue: P1

Issue	Date	Description	By	Check	Date	Description
01	13/01/19	Issued for Planning				

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01 EXISTING FIRST FLOOR PLAN  
005 1:200 @ A1

Issue	Date	Description	City	Issue	Date	Description	City
P1	21/01/13	Issued for Planning	DC				City
							City
							City
							City
							City
							City
							City
							City
							City
							City

Project: **STOCKLEY ARENA HILLINGTON UB11**  
 Title: **EXISTING FIRST FLOOR PLAN**  
 Scale: 1:200 @ A1  
 Date: 198-005  
 Issue: P1

**msbarchitecture**  
 302 Cheshire House  
 137-140 Goswell Road  
 EC1V 7ET  
 Tel: 020 7490 6249  
 email: info@msbarchitecture.com

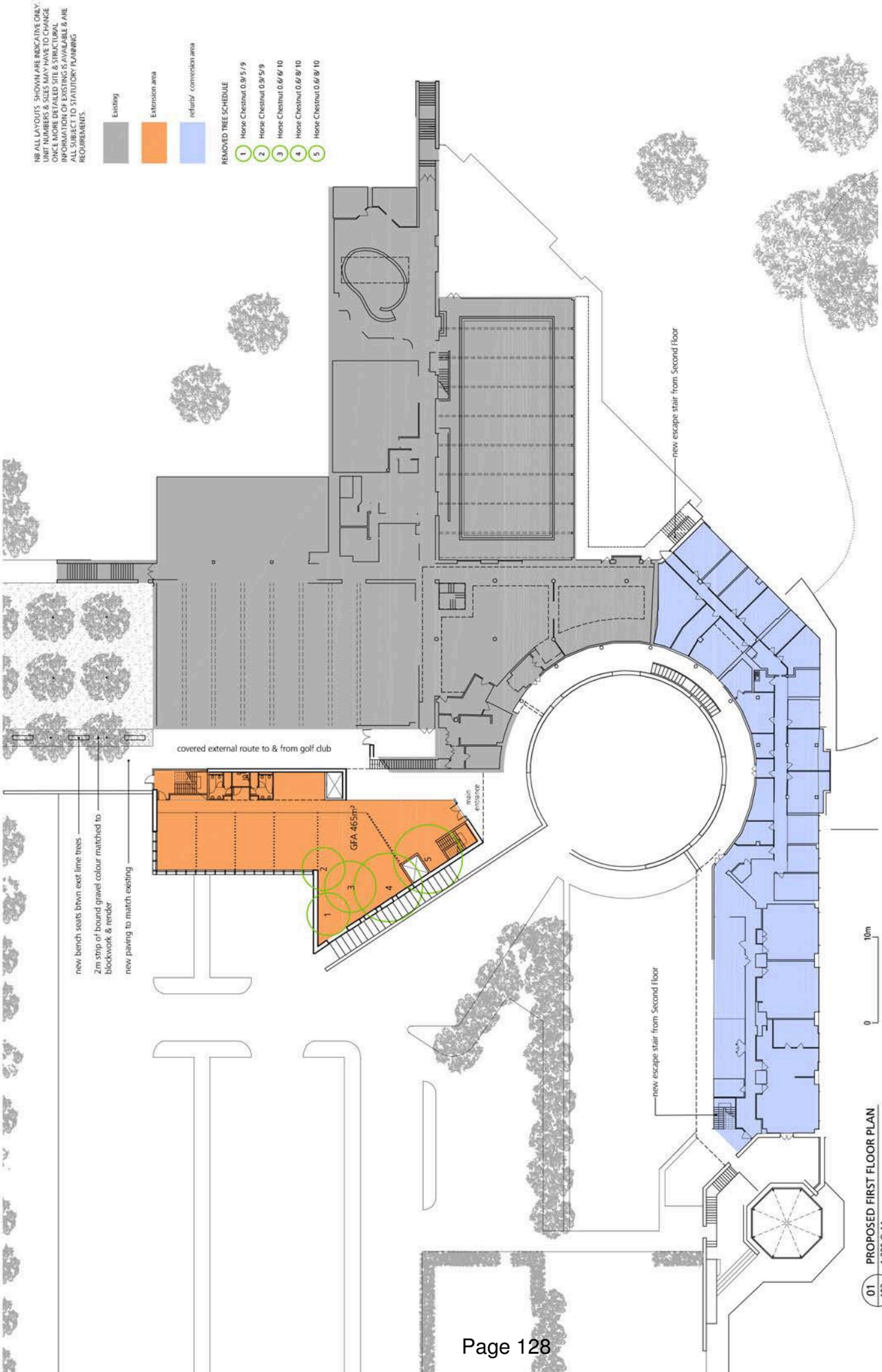
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- Existing
- Extension area
- refurbish / conversion area

REMOVED TREE SCHEDULE

- 1 Horse Chestnut 0.9/5/9
- 2 Horse Chestnut 0.9/5/9
- 3 Horse Chestnut 0.6/6/10
- 4 Horse Chestnut 0.6/6/10
- 5 Horse Chestnut 0.6/6/10



01 PROPOSED FIRST FLOOR PLAN  
1:200 @ A1

Project: STOCKLEY ARENA HILLINGDON UB11

Site: 1:200 @ A1

Date: 198-103

Issue: P1




msb architecture

302 Cheshire House  
137-140 Goswell Road  
EC1V 2ET  
Tel: 020 7490 2490  
email: studio@msbarchitecture.com

Issue	Date	Description	By	City	Issue	Date	Description	By	City
P1	21/01/13	Issued for planning	JS	JS					

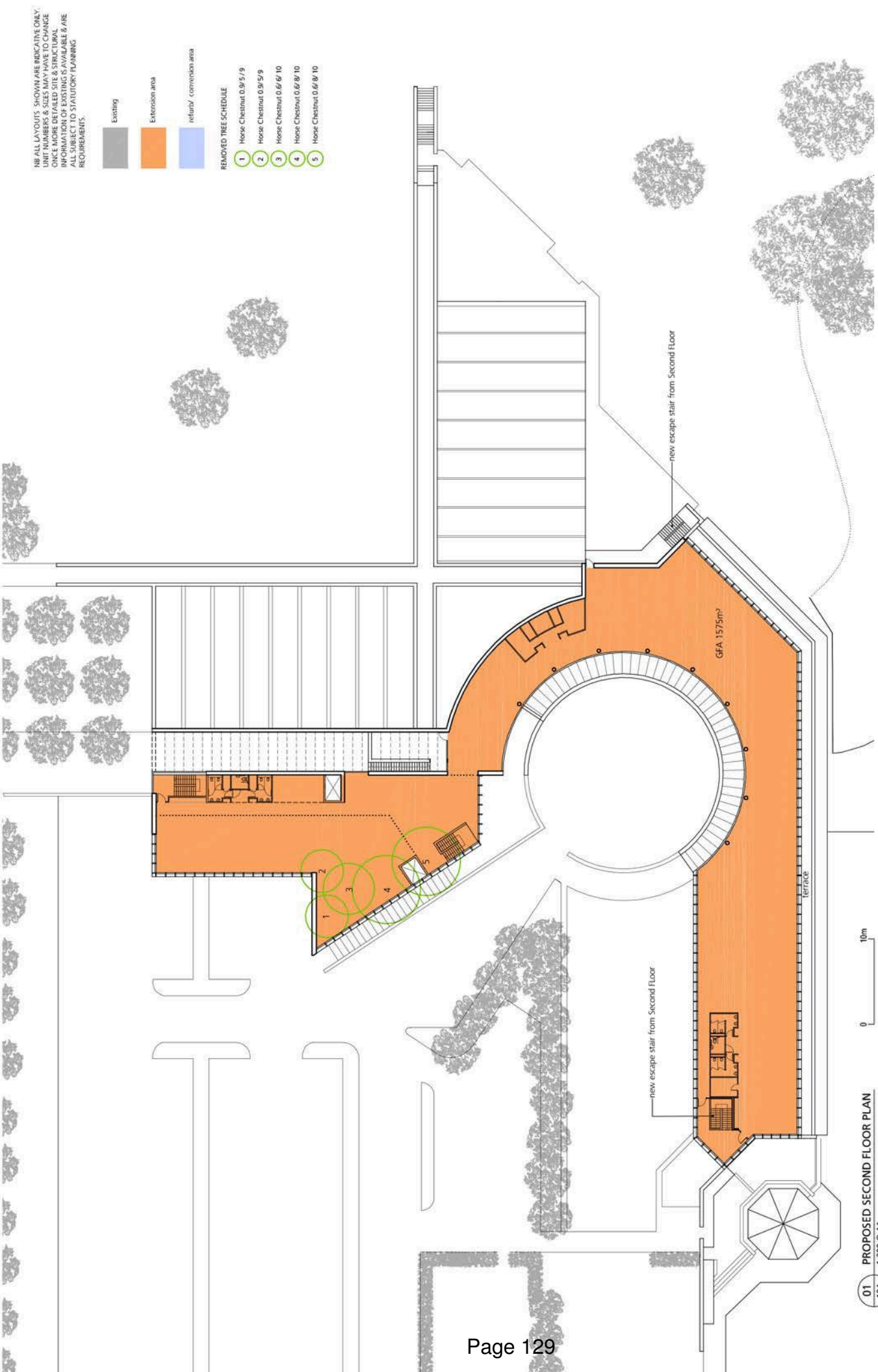
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-  Existing
-  Extension area
-  refurbish / conversion area

REMOVED TREE SCHEDULE

-  1 Horse Chestnut 0.9/5/9
-  2 Horse Chestnut 0.9/5/9
-  3 Horse Chestnut 0.6/6/10
-  4 Horse Chestnut 0.6/6/10
-  5 Horse Chestnut 0.6/6/10




01 PROPOSED SECOND FLOOR PLAN  
104 1:200 @ A1

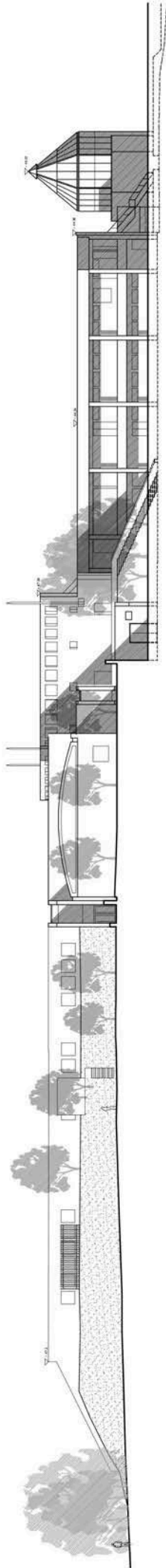
msb architecture  
302 Charing House  
137-140 Goswell Road  
EC1V 7ET  
Tel: 020 7490 2498  
email: studio@msbarchitecture.com

Project: STOCKLEY ARENA HILLINGTON UB11  
Title: PROPOSED SECOND FLOOR PLAN  
Date: 1:200 @ A1  
Scale: 1:200 @ A1  
Drawn by: 198-104  
Issue: P1

Issue	Date	Description	By	City	Issue	Date	Description	By	City
P1	21/01/13	Issued for planning	JS	JS					

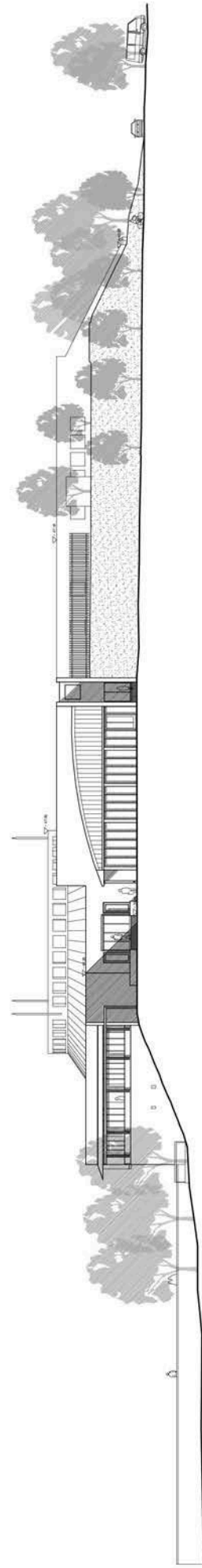
DO NOT SCALE OFF THIS DRAWING. ALL LAYOUTS SHOWN ARE INDICATIVE ONLY. SIZES MAY HAVE TO CHANGE ONCE MORE DETAILED SITE INFORMATION IS AVAILABLE & ARE ALL SUBJECT TO STATUTORY PLANNING REQUIREMENTS.





01  
007

**EXISTING NORTH ELEVATION**  
1:200 @ A1



02  
007

**EXISTING EAST ELEVATION**  
1:200 @ A1

Issue	Date	Description	City	Issue	Date	Description	City
P1	21/01/13	Issued for planning	ZUR				

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**msbarchitecture**  
302 Davina House  
137-140 Goswell Road  
EC1V 7ET  
Tel: 020 7490 2349  
email: studio@msbarchitecture.com

Project: **STOCKLEY ARENA HILLINGDON UB11**

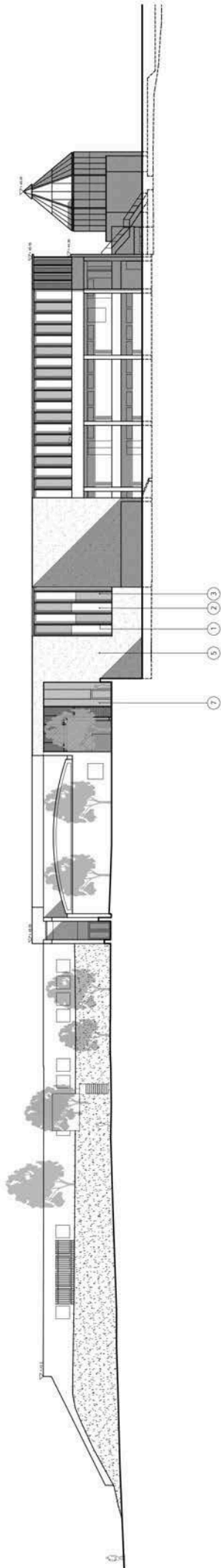
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Scale: 1:200 @ A1

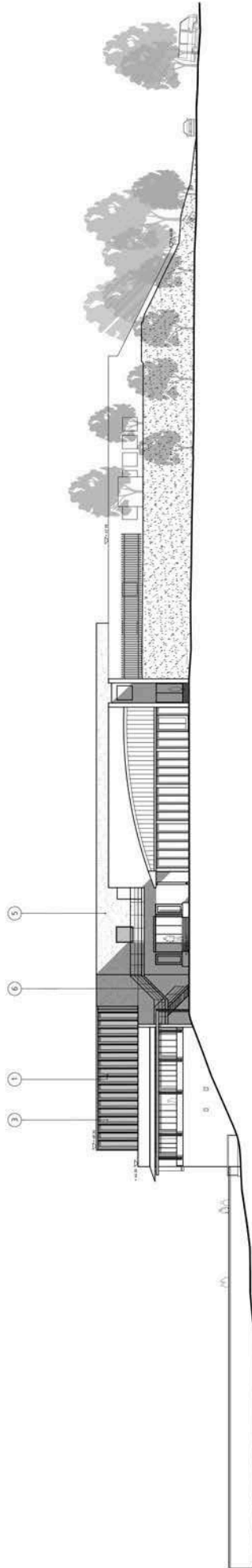
Drawn by: 198 - 007

Issue: P1





**01**  
106  
**PROPOSED NORTH ELEVATION**  
1:200 @ A1



**02**  
106  
**PROPOSED EAST ELEVATION**  
1:200 @ A1



**Materials Key**

- ① Engineered timber fin columns supporting engineered timber roof joists
- ② Iroko vertical timber 1&g infill panel above fin columns
- ③ Full height double glazed window units above fin columns
- ④ Opaque glass spandrel panel
- ⑤ Render to match existing (as around round)
- ⑥ White painted external steel staircase balustrading detailed to match existing (as adjacent to orangery) but with timber treads & decking
- ⑦ Curtain with anodised aluminium capping engineered timber mullions to inside

Issue	Date	Description	DSF	City	Issue	Date	Description	DSF	City
P1	21.03.13	Issued for Planning	200	JK					

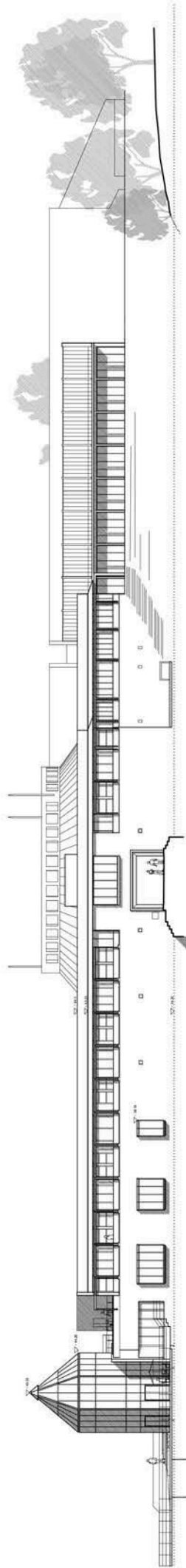


**msb**architecture  
302 Deynna House  
137-149 Goswell Road  
EC1V 2ET  
Tel : 020 7990 2498  
email : info@msbarchitecture.com

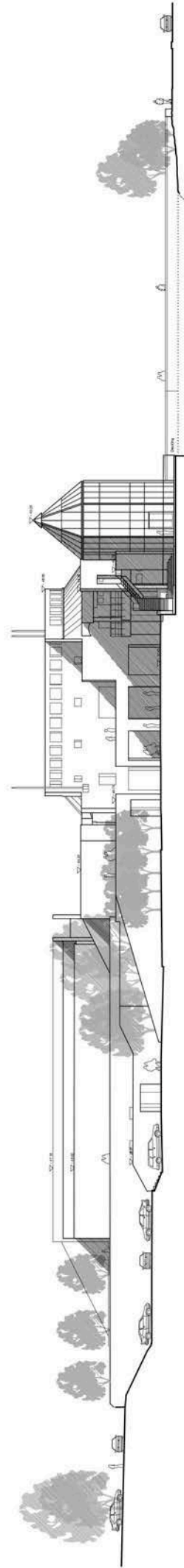
Project: **STOCKLEY ARENA HILLINGDON UB11**  
Title: **PROPOSED NORTH & EAST ELEVATIONS**

Scale: 1:200 @ A1  
Dwg No: 198-106  
Sheet: P1

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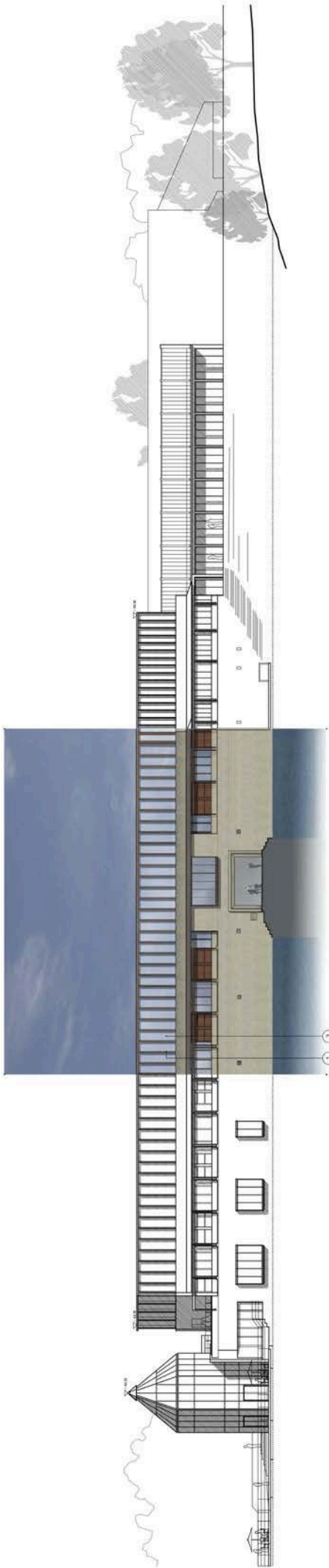
01 EXISTING SOUTH ELEVATION  
006 1:200 @ A1



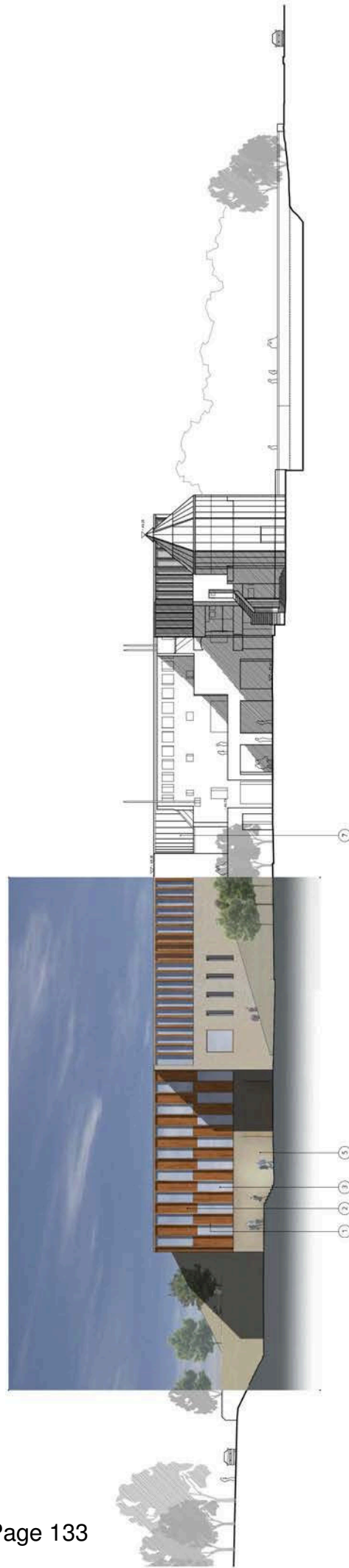
02 EXISTING WEST ELEVATION  
006 1:200 @ A1

Issue	Date	Description	Drawn	City	Issue	Date	Description	City
P1	21/01/13	Issued for Planning	ZW	JS				OS

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01 PROPOSED SOUTH ELEVATION  
1:200 @ A1



02 PROPOSED WEST ELEVATION  
1:200 @ A1

Materials Key

- 1 Engineered timber fin columns supporting engineered timber roof joists
- 2 Inoko vertical timber 18g infill panel
- 3 Full height double glazed window units
- 4 Opaque glass spandrel panel
- 5 Render to match existing (as around round)
- 6 White painted external steel staircase balustrading detailed to match existing (as adjacent to canopy) but with timber treets & decking
- 7 Curtain with anodised aluminium capping engineered timber mullions to inside



**msb**architecture

302 Quorra House  
137-140 Goswell Road  
EC1V 2ET  
Tel: 020 7490 5249  
email: studio@msbarchitecture.com

Project: STOCKLEY ARENA  
HILLINGTON UB11

Title: PROPOSED SOUTH &  
WEST ELEVATION

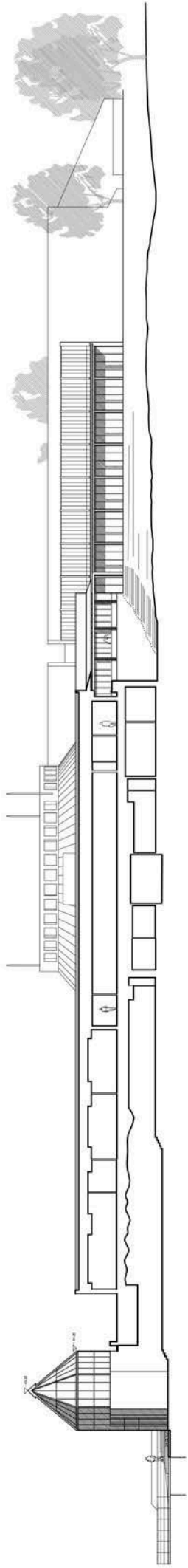
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Day No: 198-105

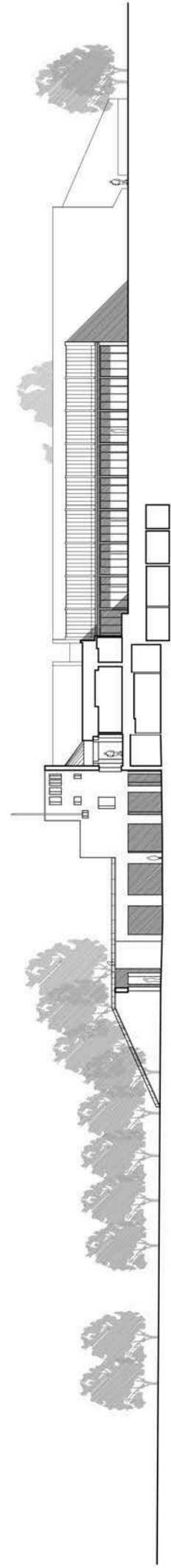
Issue: P1

Issue	Date	Description	Drawn by	Check by	Date	Description	Drawn by	Check by
P1	21/01/13	Issued for planning	ZAV	JIS				

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01  
008 EXISTING SECTION AA  
1:200 @ A1



02  
008 EXISTING SECTION BB  
1:200 @ A1

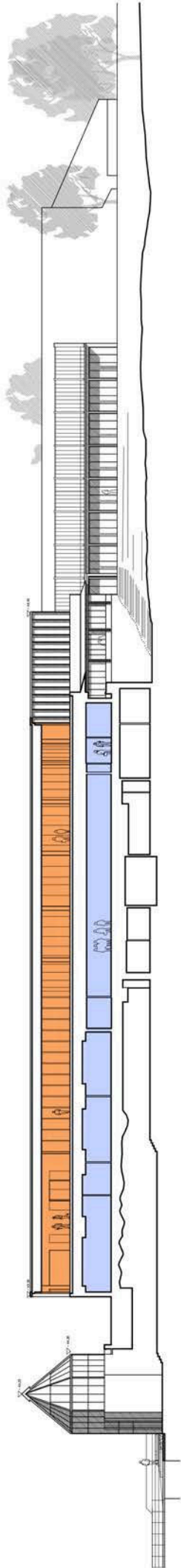


Title: EXISTING SECTIONS AA & BB  
Project: STOCKLEY ARENA HILLINGDON UB11  
Scale: 1:200 @ A1  
Date: 198 - 008  
Issue: P1

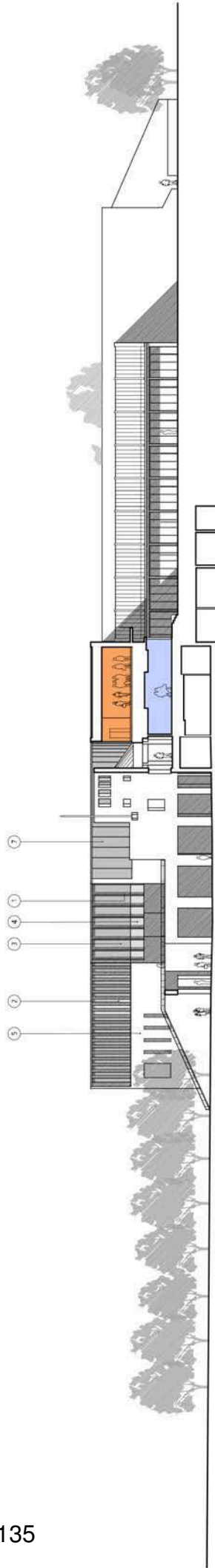
**msb**architecture  
302 Quorra House  
137-140 Goswell Road  
EC1V 7ET  
Tel: 020 7490 2498  
email: info@msbarchitecture.com

Issue	Date	Description	Drawn	Check	Date	Description	City	OS
P1	21/01/13	Issued for planning	ZW	JS				

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01 PROPOSED SECTION AA  
1:200 @ A1



02 PROPOSED SECTION BB  
1:200 @ A1



Materials Key

- 1 Engineered timber fin columns supporting engineered timber roof joists
- 2 Inseto vertical timber 1&g infill panel bawn fin columns
- 3 Full height double glazed window units bawn fin columns
- 4 Opaque glass spandrel panel
- 5 Render to match existing (as around rounded)
- 6 White painted external steel staircase balustrading detailed to match existing (as adjacent to orangey) but with timber treads & decking
- 7 Curtain with anodised aluminium capping engineered timber mullions to inside

Issue	Date	Description	By	City	Issue	Date	Description	By	City
P1	21/01/13	Issued for planning	DC	JS					OS

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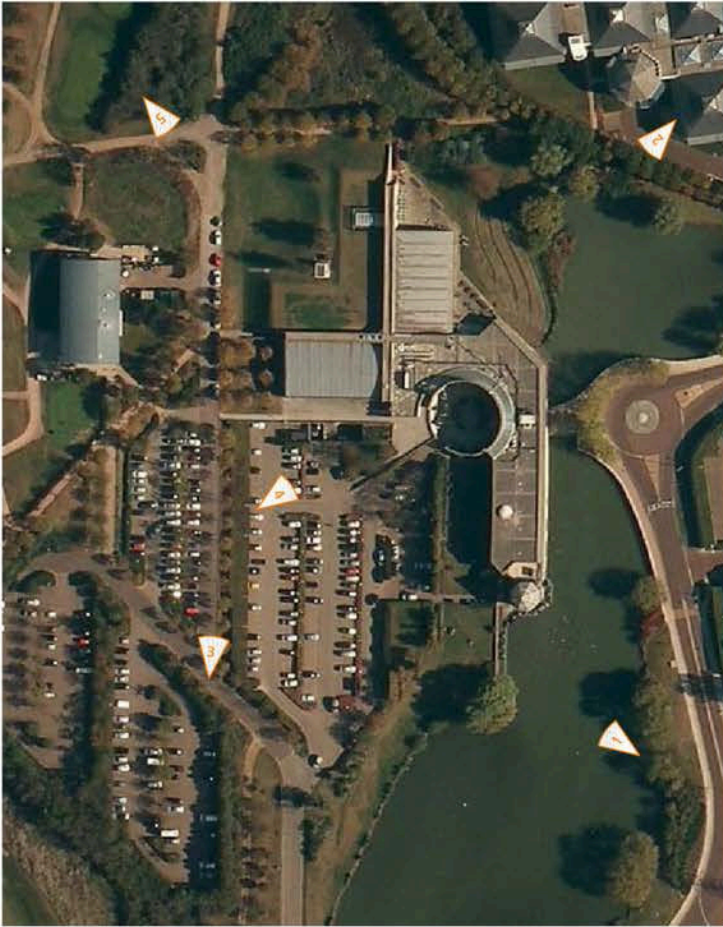
View 1: south west side of arena



View 2: south east side of arena



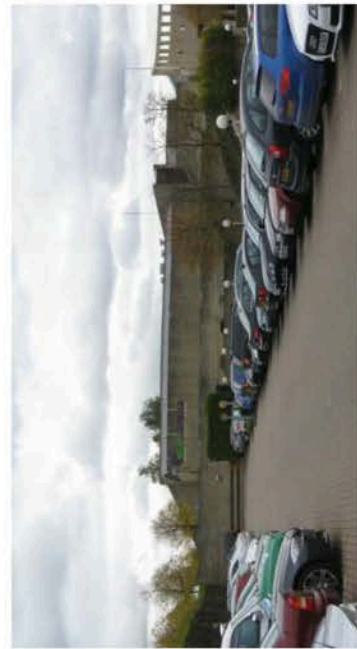
View 3: north east view of arena



01 AERIAL PHOTOGRAPH  
002 rts @ A3



View 5: looking south towards arena



View 6: north west side of arena from car park

The: AERIAL & SITE PHOTOGRAPHS

Project: STOCKLEY ARENA HILLINGTON UB11

msb architecture

302 Cheshire House  
137-140 Goswell Road  
EC1V 7ET  
Tel : 020 7490 2349  
email : info@msb-architecture.com

Day No: 198-002

Scale: rts @ A3

Issue: P1

Issue	Date	Description	City	Issue	Date	Description	City
P1	21/01/13	Issued for planning	DC				DC



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01 PROPOSED INDICATIVE VIEW LOOKING NORTH EAST  
nts @ A3



02 EXISTING VIEW LOOKING NORTH EAST  
nts @ A3



NO.	DATE	DESCRIPTION	BY	CHK	DATE	DESCRIPTION
1	21/01/13	ISSUED FOR PERMITTING				

**ma&a architecture**  
 302 Davina House  
 20-2200 Somerset Road  
 Leamington, Ontario  
 N8V 7E7  
 Tel: (519) 749-2549  
 Email: ma@maarchitecture.com

Project: STOCKLEY ARENA  
 HILLINGDON UB11  
 Title: PROPOSED INDICATIVE VIEW  
 LOOKING NORTH EAST  
 Scale: n.t.s.  
 Date: 1988 - 108  
 Issue: P1



01 PROPOSED INDICATIVE VIEW LOOKING NORTH WEST  
nts @ A3



02 EXISTING VIEW LOOKING NORTH WEST  
nts @ A3



NO.	DATE	DESCRIPTION	BY	CHK	DATE	DESCRIPTION	BY	CHK
1	21/01/13	ISSUED FOR PERMITTING						

**ma&a architecture**  
 302 Davina House  
 25-26  
 140 Consett Road  
 LEWISBURGH  
 CV17 7ET  
 Tel: 020 7480 5249  
 email: ma@maarchitecture.com

Project: STOCKLEY ARENA  
 HILLINGDON UB11  
 Title: PROPOSED INDICATIVE VIEW  
 LOOKING NORTH WEST  
 Scale: n:1:1  
 Dwg No: 198 - 109  
 Issue: P1





01 PROPOSED INDICATIVE VIEW LOOKING FROM THE NORTH EAST  
nts @ A3



02 EXISTING VIEW LOOKING FROM THE NORTH EAST  
nts @ A3



NO.	DATE	DESCRIPTION	BY	CHK	DATE	DESCRIPTION	BY	CHK
1	21/01/13	ISSUED FOR PERMITTING						

**ma&a architecture**  
 302 Davina House  
 20 Wood Street  
 Levensham  
 EC1V 7ET  
 Tel: 020 7490 5249  
 Email: [info@maandaaarchitecture.com](mailto:info@maandaaarchitecture.com)

Project: STOCKLEY ARENA  
HILLINGDON UB11  
 Title: PROPOSED INDICATIVE VIEW  
LOOKING FROM THE NORTH EAST  
 Scale: n:1:1  
 Date: 198 - 110  
 Issue: P1



01 PROPOSED INDICATIVE VIEW LOOKING FROM NORTH WEST  
nts @ A3



02 EXISTING VIEW LOOKING FROM NORTH WEST  
nts @ A3



NO.	DATE	DESCRIPTION	BY	CHKD	DATE	DESCRIPTION	BY	CHKD
1	21/01/13	ISSUED FOR PERMITTING						

**ma&architecture**  
 302 Davina House  
 25-26 Cornhill Road  
 LEICESTER  
 LE1 7ET  
 Tel: 01533 7490 5249  
 Email: [info@maandarchitecture.com](mailto:info@maandarchitecture.com)

Project: STOCKLEY ARENA  
HILLINGDON UB11

Title: PROPOSED INDICATIVE VIEW  
LOOKING FROM NORTH WEST

Scale: n.t.s.

Orig. No: 198 - 111

Issue: P1



01 PROPOSED INDICATIVE VIEW FROM THE 10TH TEE  
nts @ A3

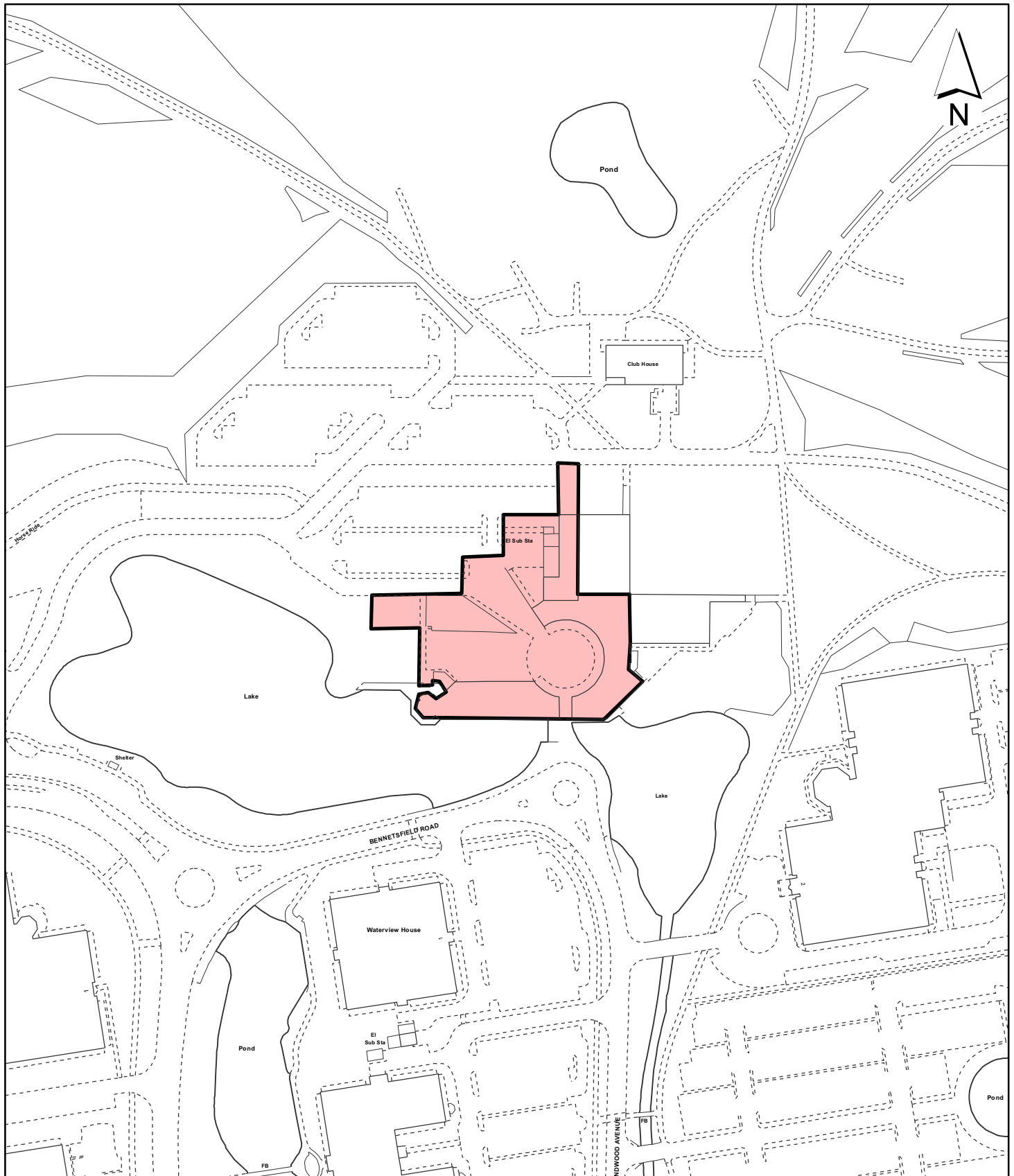


02 EXISTING VIEW FROM THE 10TH TEE  
nts @ A3




NO.	DATE	DESCRIPTION	BY	CHKD	APPROVED

**ms&architecture**  
 302 Davina House  
 2500 160th Street  
 Lewisville, CO 80501  
 ECIV 787  
 Tel: (303) 949-5269  
 Email: msand@msandarchitecture.com



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Site Address

**The Arena, Stockley Park  
Stockley Road  
West Drayton**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:

**37800/APP/2013/161**

Scale

**1:2,000**

Planning Committee

**Major Applications**

Date

**July  
2013**



**HILLINGDON**  
LONDON

## **Report of the Head of Planning, Sport and Green Spaces**

**Address** KNIGHTS OF HILLINGDON FLORISTS UXBRIDGE ROAD HILLINGDON

**Development:** "Retrospective planning application to vary condition 4 (that the development hereby permitted shall be carried out in accordance with the following approved plans) to outline planning permission (Ref 15407/APP/2009/1838) granted on appeal on 17 June 2010 for the "erection of new health centre and 12 residential units with ancillary car parking and landscaped amenity space" to seek retain the building as built including divergences from the approved scheme in respect to the roof profile that serves the lift shaft on the rear elevation of the building, the disabled car parking provision and the level access provided to the building entrance involving the introduction of a 'bridge structure' over a void adjacent to the rear elevation.

**LBH Ref Nos:** 15407/APP/2013/1170

**Date Plans Received:** 08/05/2013

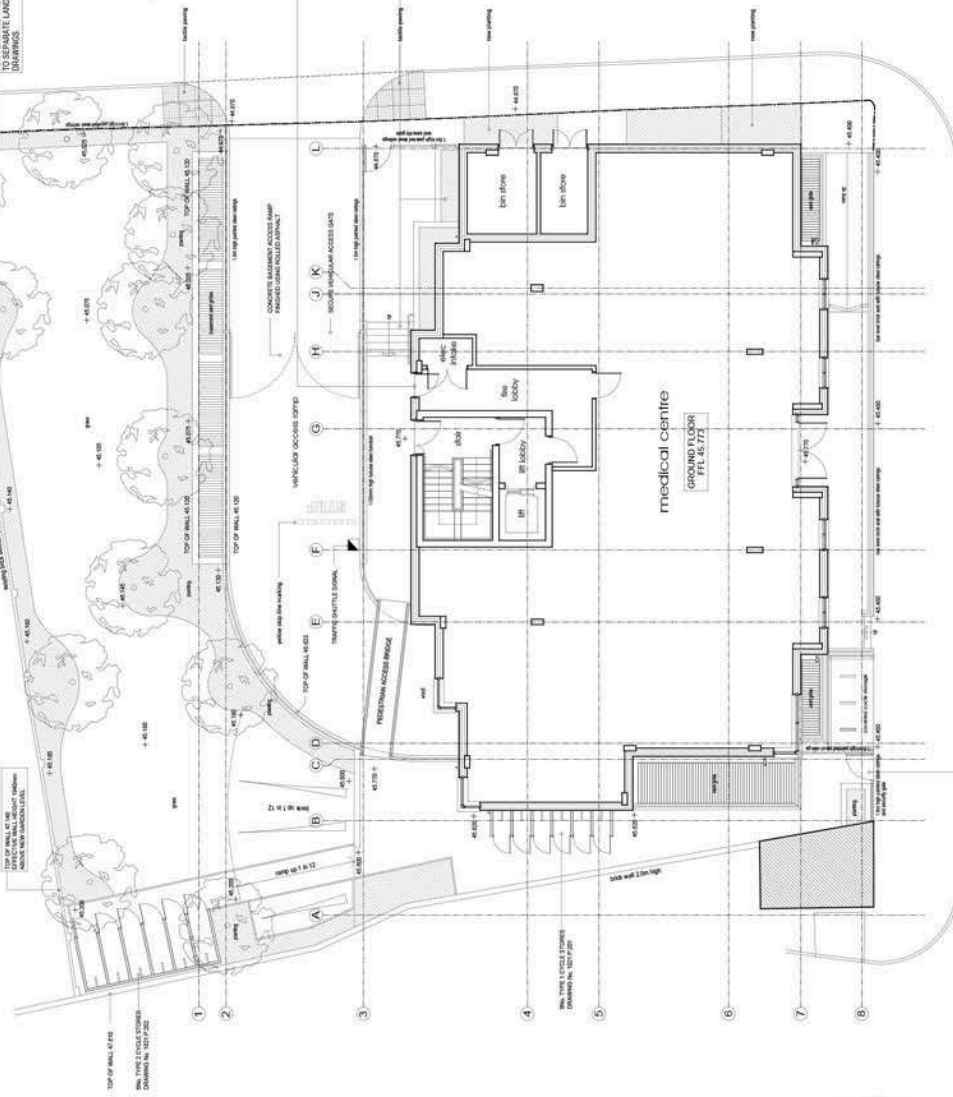
**Date(s) of Amendment(s):**

**Date Application Valid:** 23/05/2013



FOR PLANTING PROPOSALS REFER TO LANDSCAPE DESIGN DRAWINGS.

de salis road



ADDITIONAL SEPARATE ACCESS DOOR TO COMMERCIAL UNIT SPECIFIC TO OFFICER REQUIREMENT TO PROVIDE SEPARATE ACCESS FOR RESIDENTIAL AND COMMERCIAL OCCUPANTS.

EXISTING ACCESS RAMP LOCATED TO BE IMPROVED TO PROVIDE A CLEAR AND UNOBSTRUCTED SPACE AND ACCESSIBLE LEVEL DIFFERENCES. NEW PARKING SPACES ARE LOCATED TO BASEMENT LEVEL ACCESS RAMP. GROUND FLOOR ACCOMMODATION EXTENDED INTO ORIGINAL UNDERDRIFT.

ADDITIONAL SECURE LEVEL ACCESS PROVIDED TO ENTRY APPROACH FROM DE SALIS ROAD.

INDICATED PROPOSED GROUND LEVELS	
N7	D875
PROPOSED	

**A.B.C. ARCHITECTS LLP**  
600 Bridge Road  
Singapore 109971  
Tel: 65 6733 5111  
Fax: 65 6733 5112  
www.abcarchitects.com

**FORMER KNIGHTS OF HILLINGTON SITE**  
DE SALIS ROAD  
HILLINGTON

PROPOSED SITE LAYOUT (REGULARISATION)

Project No:	110018-01	Date:	APRIL 13
Prepared:	PLANNING	Checked:	CR
Project No:	<b>1021 : P : 300</b>		

REV	DATE	DESCRIPTION	BY

**A.S.B. ARCHITECTS LLP**  
 602 Bridge Road  
 Hillingdon, Uxbridge, Middlesex, U.K.  
 Tel: 01895 530211  
 Fax: 01895 530212  
 www.asb-architects.co.uk

**FORMER KNIGHTS OF HILLINGDON SITE**  
 BRIDGE ROAD  
 HILLINGDON

**PROPOSED GROUND FLOOR PLAN**  
 (REGULARISATION)

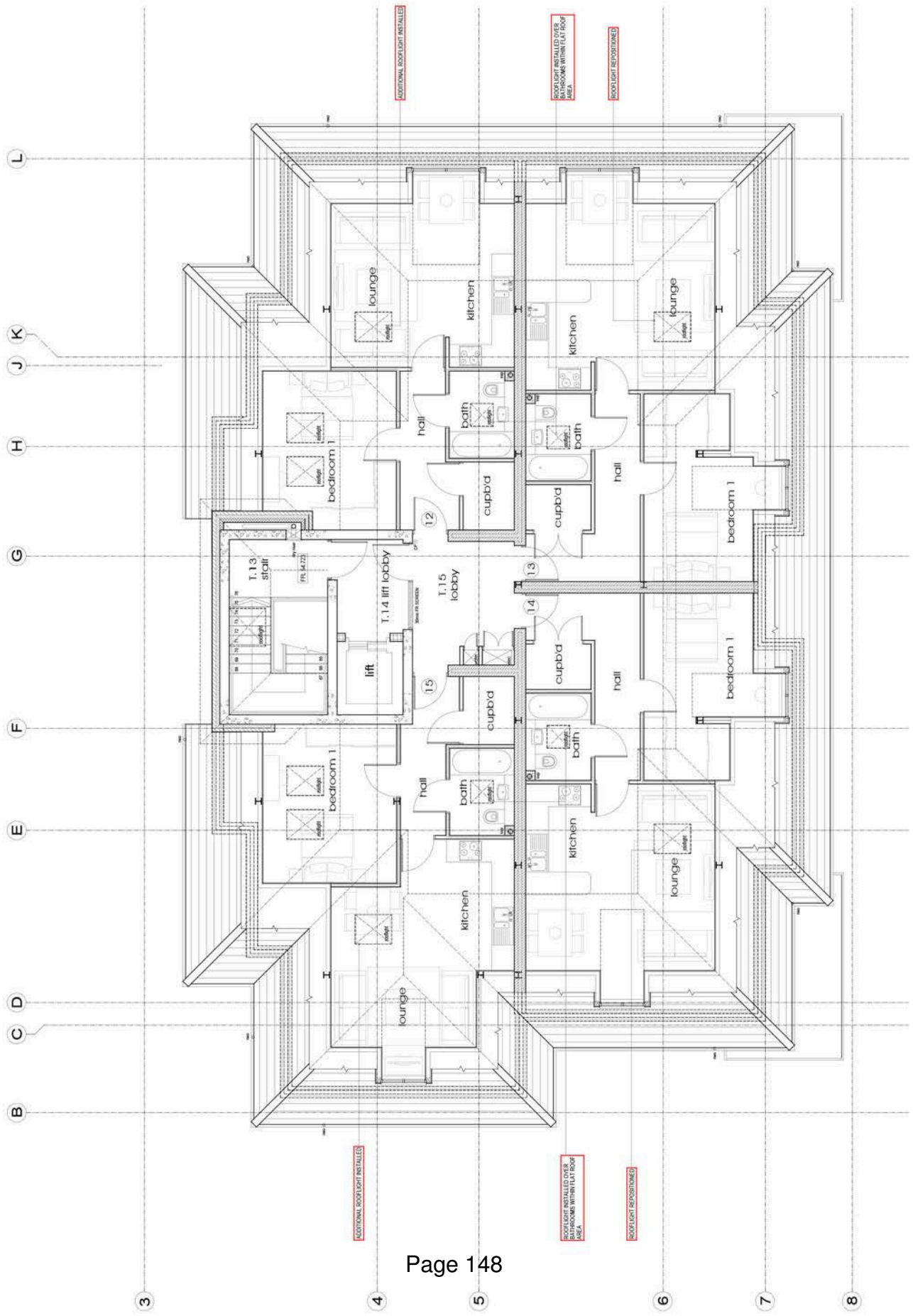
Date: 1.05.2011  
 Drawn: CR  
 Check: CR  
 Date: APR 13  
 Drawn: CR  
 Check: CR  
**1021 : P : 301**

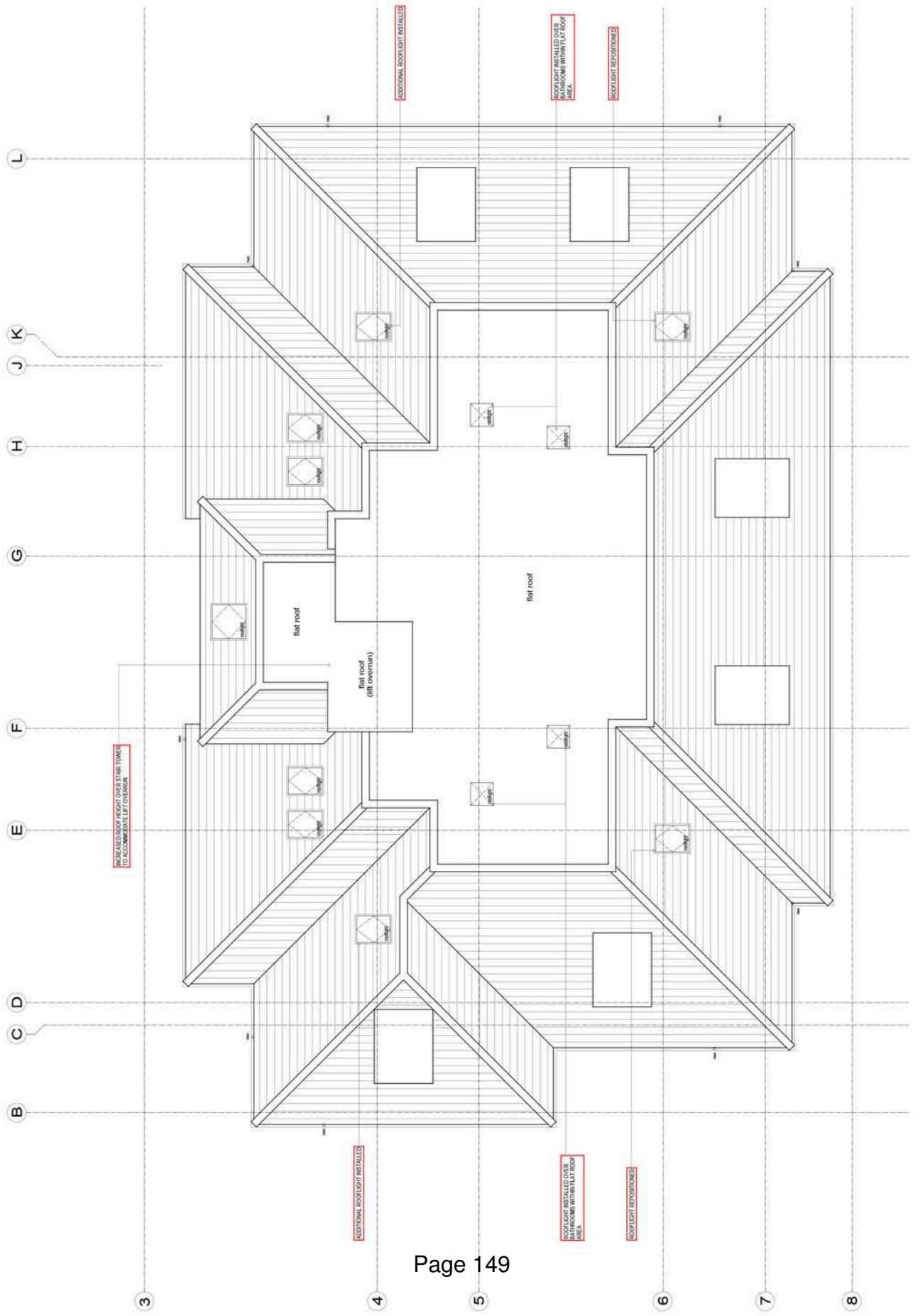












METERS

NO.	DATE	DESCRIPTION	REVISED



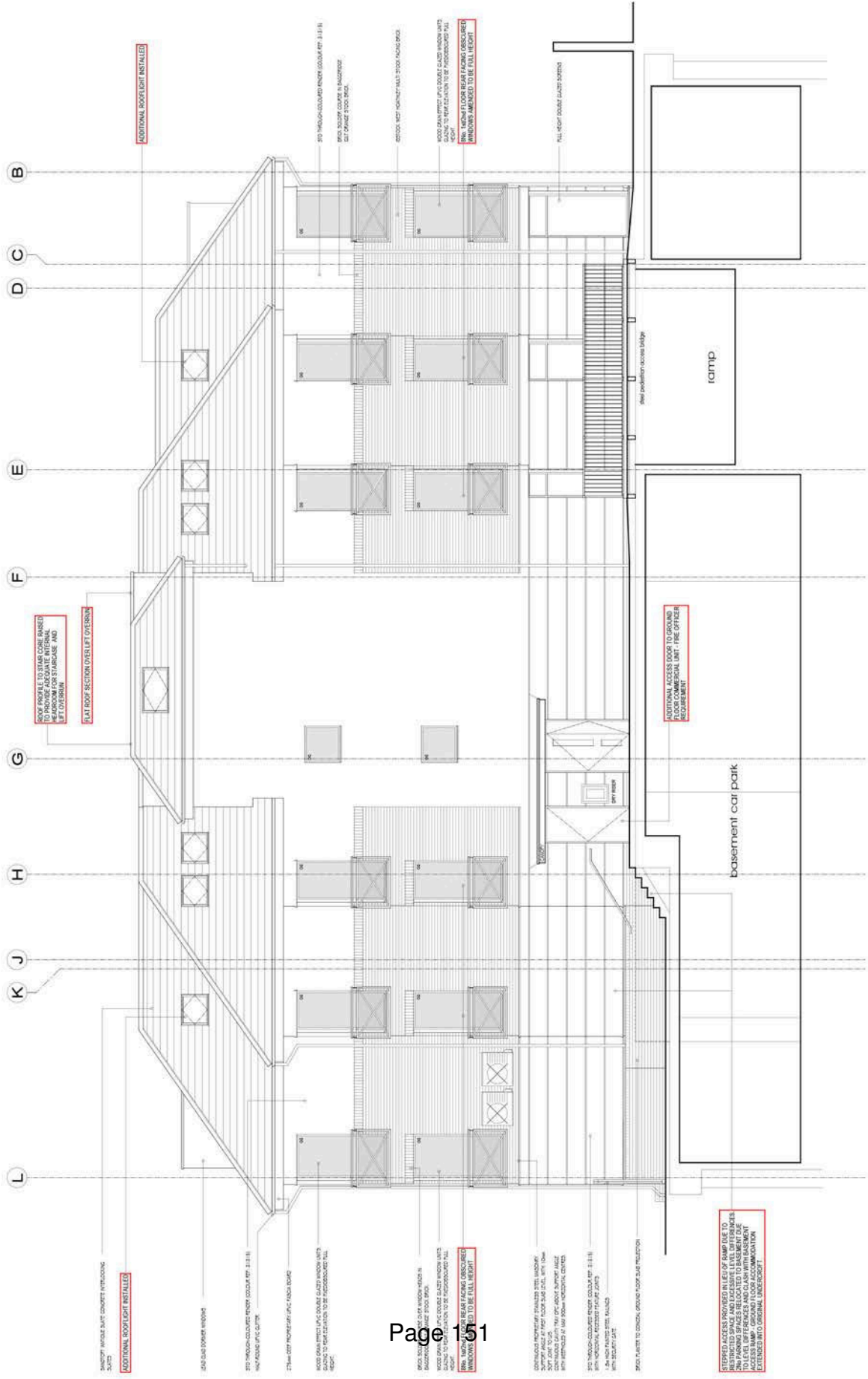
FORMER KNIGHTS OF HILLINGDON SITE  
 600 KINGSWAY ROAD  
 HILLINGDON

PROPOSED FRONT ELEVATION  
 (REGULARISATION)

Project No.	Scale	Date
1021 : P : 310	1:50 @ A1	APRIL 13



proposed front elevation



ROOF PROFILE TO STAIR CASE BASKET  
 TO PROVIDE ADEQUATE INTERNAL  
 CLEARANCE FOR STORAGE AND  
 FIRE ESCAPE

FLAT ROOF SECTION OVER LEFT OVERHANG

ADDITIONAL ROOFLIGHT INSTALLED

210 HINGED-COLLARED PIPES (G0204 REF. J1.1.11)  
 WITH 150mm PVC GUTTERS  
 WITH 150mm PVC GUTTERS

275mm 2007 FINISH LIFT PVC FINISH BOARD

210 HINGED-COLLARED PIPES (G0204 REF. J1.1.11)  
 WITH 150mm PVC GUTTERS  
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ADDITIONAL ROOFLIGHT INSTALLED

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 WITH 150mm PVC GUTTERS  
 WITH 150mm PVC GUTTERS

**A.B.M. ARCHITECTURE**  
 602 Bridge Road  
 Hillingdon, Bucks HP8 9JY  
 Tel: 01753 530711  
 www.abmarchitect.co.uk

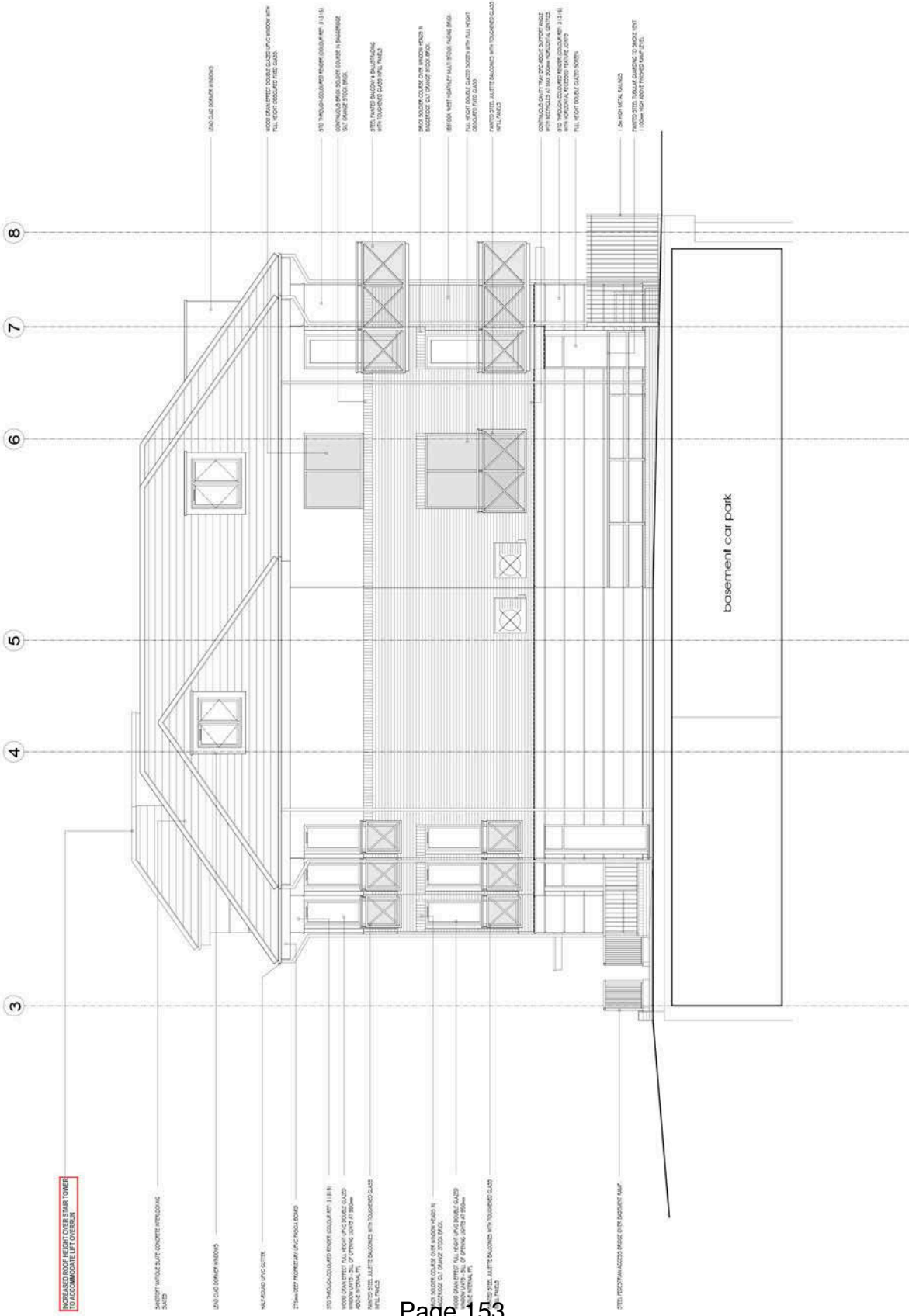
**FORMER KNIGHTS OF HILLINGDON SITE**  
 HILLINGDON ROAD  
 HILLINGDON

**PROPOSED SIDE (EAST) ELEVATION**  
 (REGULARISATION)

Project No: 1021 : P : 313  
 Date: APRIL 13  
 Drawing: 01



proposed side (east) elevation



INCREASE ROOF HEIGHT OVER EAST TOWER TO ACCOMMODATE LEFT OVERSKIN

SHEDDING BRICKS: WHITE CONCRETE PHTHOSIAE GLAZED

LONG GLASS ENTRANCE WINDOWS

WOOD GRAB DOUBLE WINDOWS

WOOD GRAB DOUBLE GLAZED UP-CO WINDOWS WITH FULL HEIGHT OVERSKIN PHTHOSIAE GLAZED

WOOD GRAB DOUBLE GLAZED UP-CO WINDOWS WITH FULL HEIGHT OVERSKIN PHTHOSIAE GLAZED

WOOD GRAB DOUBLE GLAZED UP-CO WINDOWS WITH FULL HEIGHT OVERSKIN PHTHOSIAE GLAZED

WOOD GRAB DOUBLE GLAZED UP-CO WINDOWS WITH FULL HEIGHT OVERSKIN PHTHOSIAE GLAZED

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WOOD GRAB DOUBLE GLAZED UP-CO WINDOWS WITH FULL HEIGHT OVERSKIN PHTHOSIAE GLAZED

**ARCHITECT**  
 A.B.M. ARCHITECTS  
 600 Bridge Road  
 Singapore 109451  
 Tel: 6733 6666  
 Fax: 6733 6667  
 www.abmarchitects.com

**CLIENT**  
 FORMER KNIGHTS OF HILLINGDON SITE  
 HILLINGDON ROAD  
 HILLINGDON

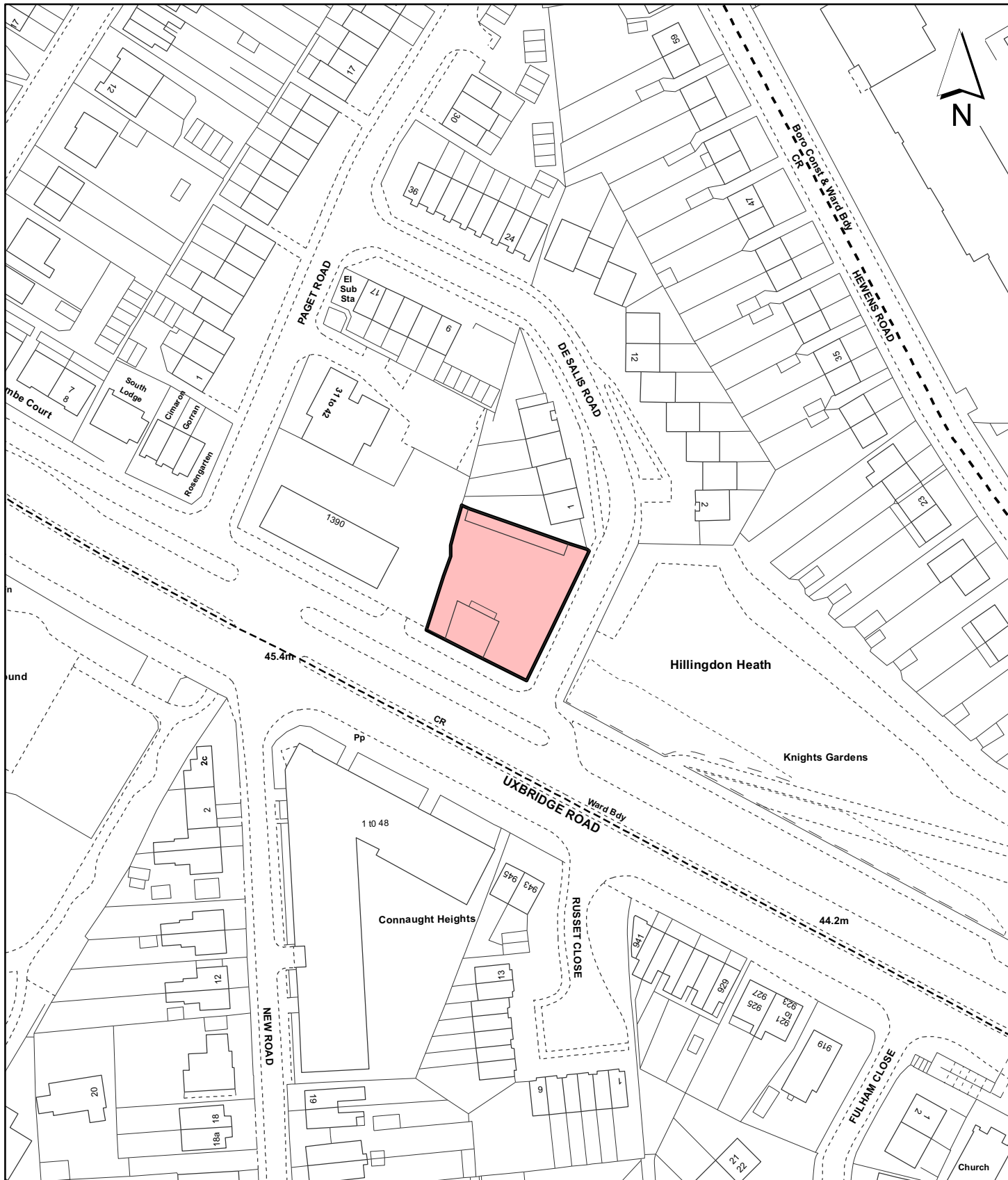
**DATE**  
 11/07/2021

**PROJECT NO.**  
 1021


PROPOSED SIDE (WEST) ELEVATION (REGULARISATION)

Project No.	1021	Scale	1:50 @ A1	Date	APRIL 13
Project Name	HILLINGDON	Client	OR	Location	OR
<b>1021 : P : 311</b>					

proposed side (west) elevation



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**Knights of Hillingdon Florists  
Uxbridge Road  
Hillingdon**

Planning Application Ref:

**15407/APP/2013/1170**

Planning Committee

**Major Applications**

Scale

**1:1,250**

Date

**July  
2013**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON



## **Report of the Head of Planning, Sport and Green Spaces**

**Address** FORMER RAF UXBRIDGE HILLINGDON ROAD UXBRIDGE

**Development:** Reserved matters (appearance, layout, scale and landscaping) in compliance with conditions 2 and 3 for Phase 1, Seventh Application (Eastern Side of District Park) of planning permission ref: 585/APP/2009/2752 dated 18/01/201 for the proposed mixed-use redevelopment of St Andrews Park (Former RAF Uxbridge site).

**LBH Ref Nos:** 585/APP/2013/979

**Date Plans Received:** 18/04/2013

**Date(s) of Amendment(s):**

**Date Application Valid:** 18/04/2013

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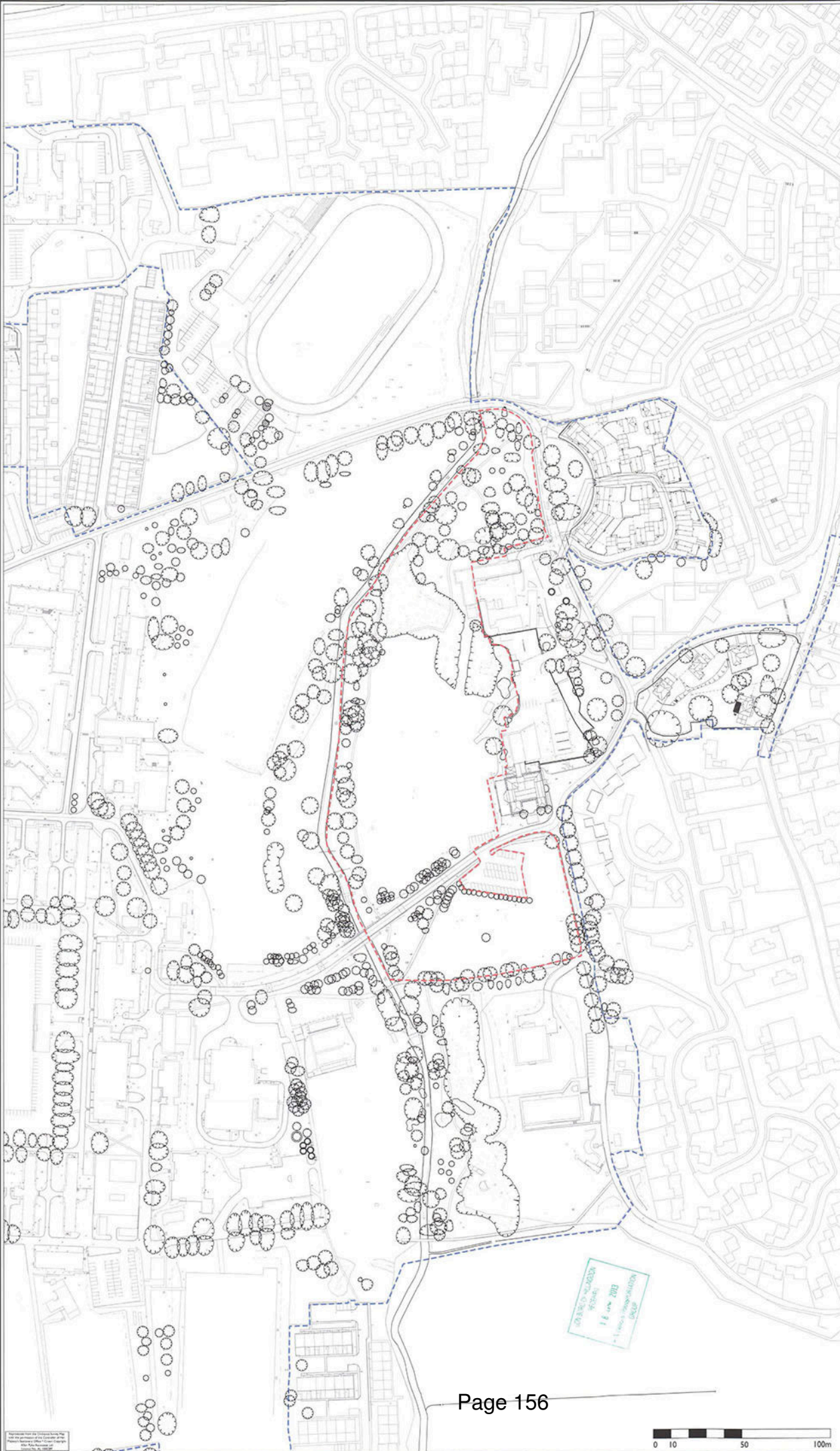
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Based on drawing by  
Drawing number

**LEGEND**

- Outline application boundary
- District Park Phase I boundary



Rev	Description	Date	Drawn	Checked
Drawing Status				

**FOR INFORMATION**

**Allen Pyke Associates**  
Landscape architecture Urban design Environmental planning

The Factory, 2 Acre Road,  
Kingston upon Thames,  
Surrey KT2 6EF

T 020 8549 3434 F 020 8547 1075  
www.allenpyke.co.uk  
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Client  
VSM (LUXBRIDGE) LTD

Scale  
1:11250@A1

Project  
RAF LUXBRIDGE  
DISTRICT PARK

Drawing Title  
PHASE I  
SITE LOCATION PLAN

Date  
26/03/13

Drawing Number  
2152-DP-LA-05

Revision



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Notes

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Based on drawing by  
Drawing number



Rev	Description	Date	Drawn	Checked
A	Added amber edging to paving			

Drawings Status

PLANNING

Allen Pyke Associates

Landscape architecture Urban design Environmental planning  
The Factory, 2 Acce Road,  
Kingston upon Thames,  
Surrey KT2 6EF

T 020 8549 3434 F 020 8547 1075  
www.allenpyke.co.uk

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Client: VSM (Uxbridge) LTD Scale: 1/20@A3

Project: Rye Uxbridge District Park

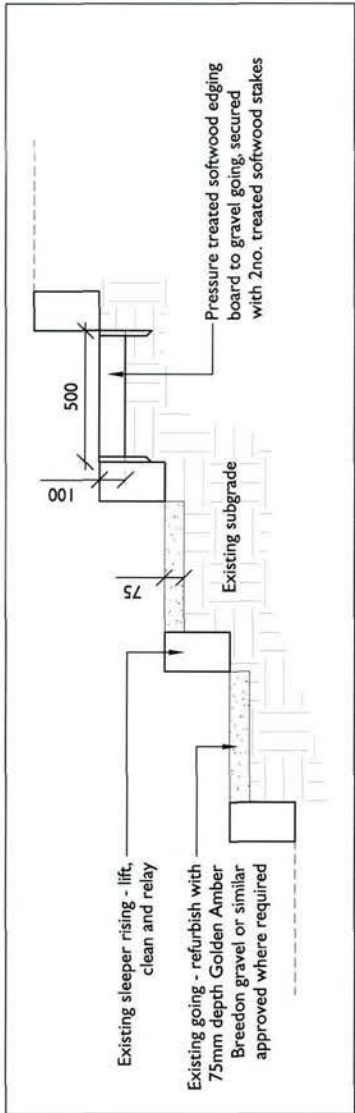
Revision Title: Phase 1 - Details

Revision Date: 28/03/13

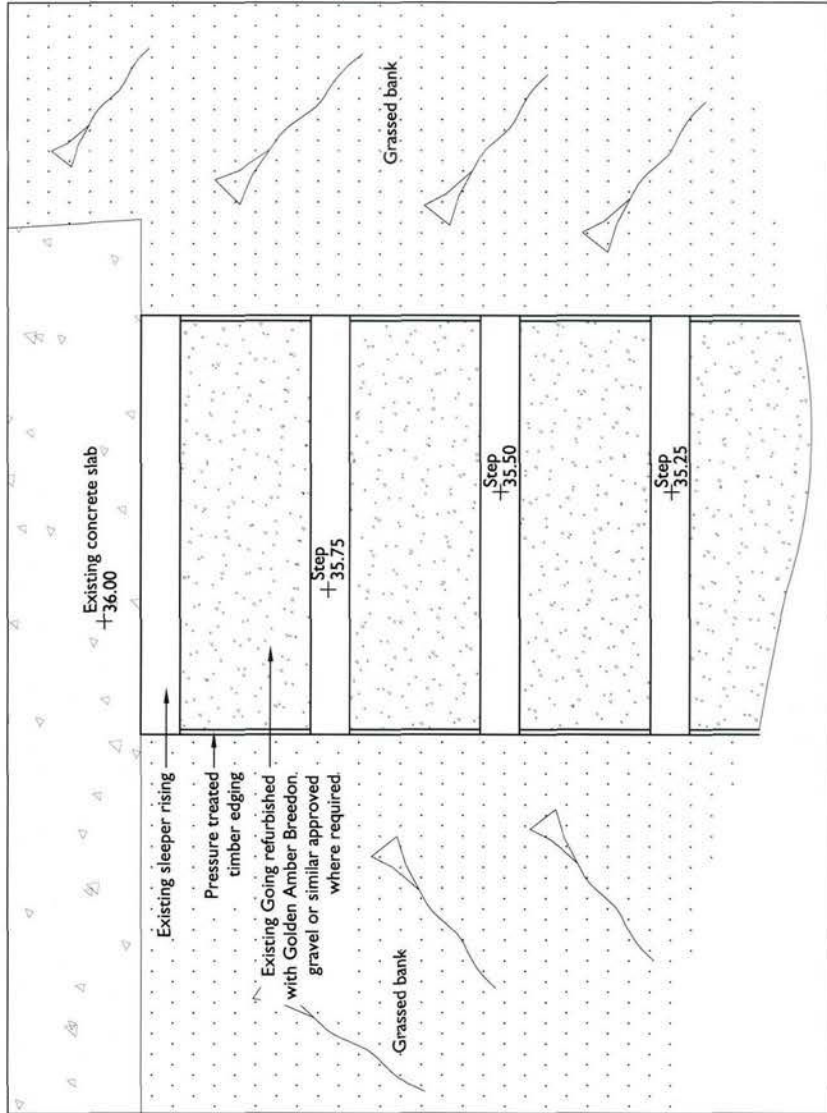
Revision Existing Sleeper Steps

Revision Drawing Number: 2152-DP-DT-02

Revision A

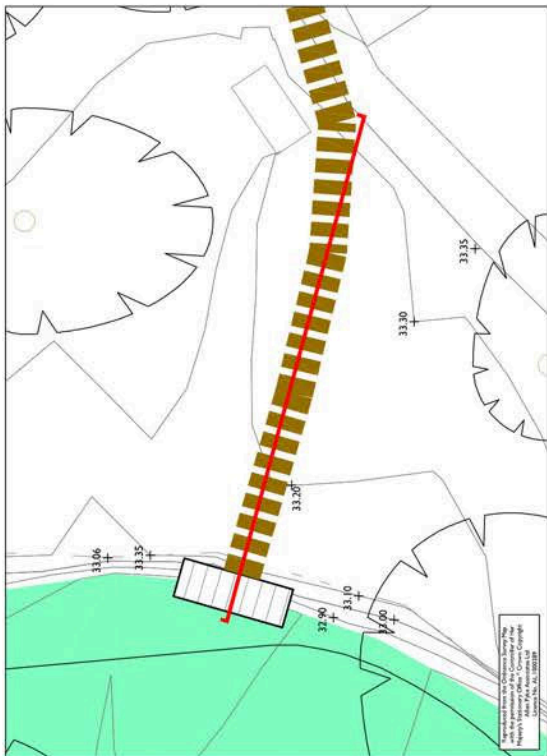


Existing sleeper steps to Leigh Mallory Bridge Detail 1:20@A3

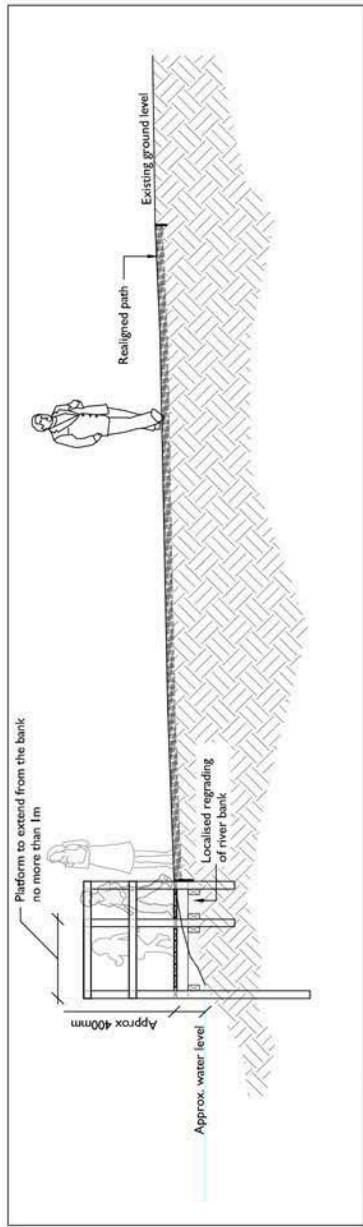


Key plan 1:20@A3

Notes  
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 Drawing number



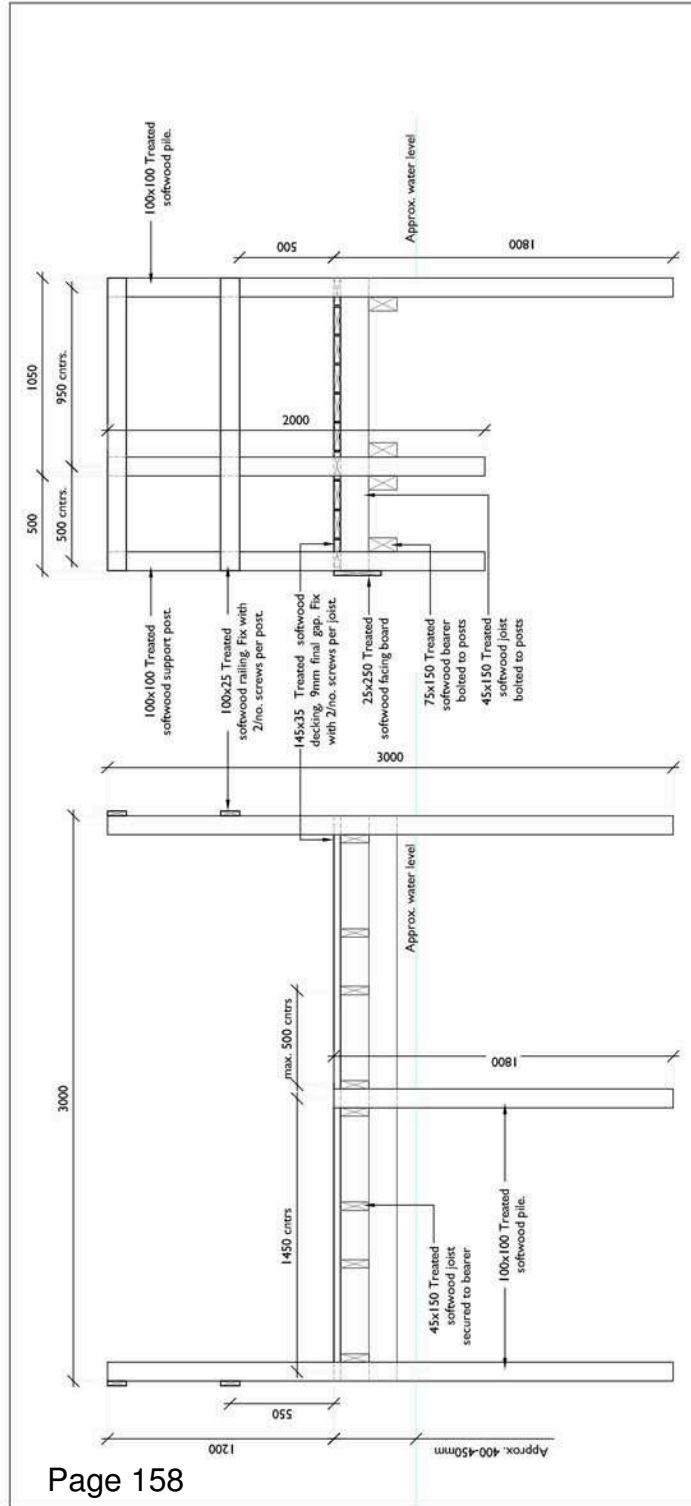
Key Plan  
 Scale 1:100 @ A2



Indicative Section  
 Scale 1:50 @ A2

NOTES

- Design and installation subject to appropriate safety audits and approval by the EA.
- Following risk assessment prior to installation, suitable rescue equipment such as a reach pole, or a throw line will be provided if the water is too deep for an adult to perform a wading rescue. Clear warning signage should be used at the access points to the platform.



Front Elevation  
 Scale 1:20 @ A2

Side Elevation  
 Scale 1:20 @ A2

1	Revision issued in line with EA	25/06/13	SB	VB
2	Address notes	13/06/13	SB	VB
3	Address notes	13/06/13	SB	VB
4	Address notes	13/06/13	SB	VB
5	Address notes	13/06/13	SB	VB
6	Address notes	13/06/13	SB	VB
7	Address notes	13/06/13	SB	VB
8	Address notes	13/06/13	SB	VB
9	Address notes	13/06/13	SB	VB
10	Address notes	13/06/13	SB	VB

PLANNING

**Allen Pyke Associates**  
 Landscape Architecture • Urban Design • Environmental Planning

The Factory, 2 Acton Road,  
 Kingston upon Thames,  
 Surrey KT2 6BF

T 020 8549 3434 F 020 8547 1075  
 www.allenpyke.com  
 KINGS LANDING, 10000  
 KINGS LANDING, 10000  
 KINGS LANDING, 10000

Company name of the client/contractor  
 VSN (Landscape) Ltd  
 AS SHOWING@AZ

Client  
 VSN (Landscape) Ltd  
 BB/LB

Project  
 District Park Details  
 04/04/13

Drawing Title  
 District Park Details  
 04/04/13

Drawing Number  
 2152-DP-DT-03

Revision  
 B

**Plant Schedule**

Shrubs	QTY	UNIT PLANT NAME	STOCK SIZE	SPACING
	135 No.	Hedera helix	C 3L	40-40cm 8m <sup>2</sup>

Herbaceous plants	QTY	UNIT PLANT NAME	STOCK SPACING
	39 No.	Carex pendula	C 3L 5m <sup>2</sup>
	9 No.	Iris foetidissima	C 2L 5m <sup>2</sup>
	13 No.	Iris pseudacorus	C 2L 5m <sup>2</sup>
	24 No.	Persicaria affinis "Darjeeling Red"	C 1L 7m <sup>2</sup>

Trees	QTY	UNIT PLANT NAME	STOCK GIRTH
	11 No.	Acer platanoides	88 14-16cm
	5 No.	Betula nigra	88 12-14cm
	13 No.	Betula pendula	C 45L 12-14cm
	5 No.	Prunus avium	88 14-16cm
	5 No.	Salix alba	88 12-14cm

**INSET I**  
Scale 1:250

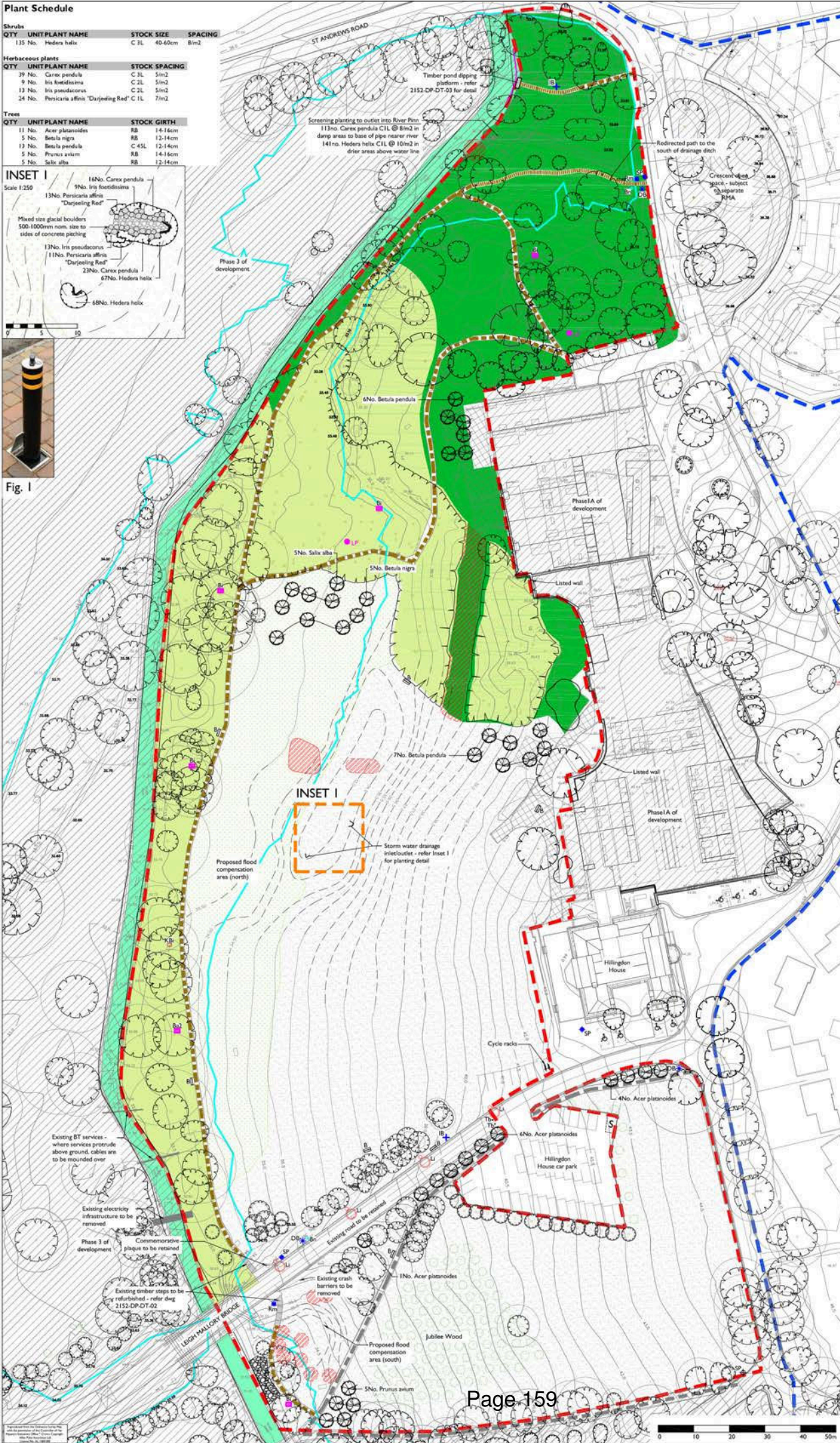
18No. Carex pendula  
9No. Iris foetidissima  
13No. Persicaria affinis "Darjeeling Red"

Mixed size glacial boulders 500-1000mm diam, size to sides of concrete paving

13No. Iris pseudacorus  
11No. Persicaria affinis "Darjeeling Red"  
23No. Carex pendula  
67No. Hedera helix



Fig. 1



APPL FILE REFERENCES: 2152-DISTRICT PARK/LA/2152-DP-LA-01

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Based on drawing by Drawing Number

North

**LEGEND**

- Outline application boundary
- Reserved matters application boundary
- Indicative extent of floodplain
- Area of works outside of phase boundary
- Trees to be retained - indicative canopy spread refer to DWG no 2152-DP-TS-01
- Recently planted tree
- Trees to be removed to facilitate construction (brings)
- Indicative extent of amenity to be retained
- Indicative extent of rough grass and woodland edge
- Proposed groundcover planting
- Amenity grass areas - DLP Tribulus Prof 27 Escarwell PLUS or similar approved - to be reinstated post construction
- Proposed outdoor seating grass mix - DLP Tribulus Prof Flara 3 or similar approved
- Area of hard standing to be removed, make good and grass seeded
- Proposed tree planting
- Bollards - final location to be confirmed on site with ecologist
- Keenest hard box - final location to be confirmed on site with ecologist
- Indicative location for grouping of bus stops - final location to be confirmed on site with ecologist
- Lip jobs using timber from felled trees
- Liter bin - Brossip 120, Darty Standard Steel, colour: Black or similar approved
- Dog bin - Brossip Sirius or similar approved
- Calendula route marker
- Finger post sign
- Park sign/information board
- Beach seat with associated concrete slab to front foot area - Woodscape Type 2 or similar approved
- Lighting - refer note for specification
- Telescopic bollard - Brossip manual telescopic post (ref B025 536-04), colour: Black or similar approved - refer Fig. 1 for indicative stage
- Cycle racks - Brossip sensor Sheffield stand, root fixed, colour: Black or similar approved
- Existing terrace path to be refurbished
- Existing bark mulch path with timber edging to be reinstated with geotextile underneath
- Proposed section of realignment to existing bark mulch path
- Indicative location of proposed bus stop (in Hillington House Car park)
- River flow
- Existing contours
- Proposed contours
- Area of back grading to facilitate river access

**NOTES**

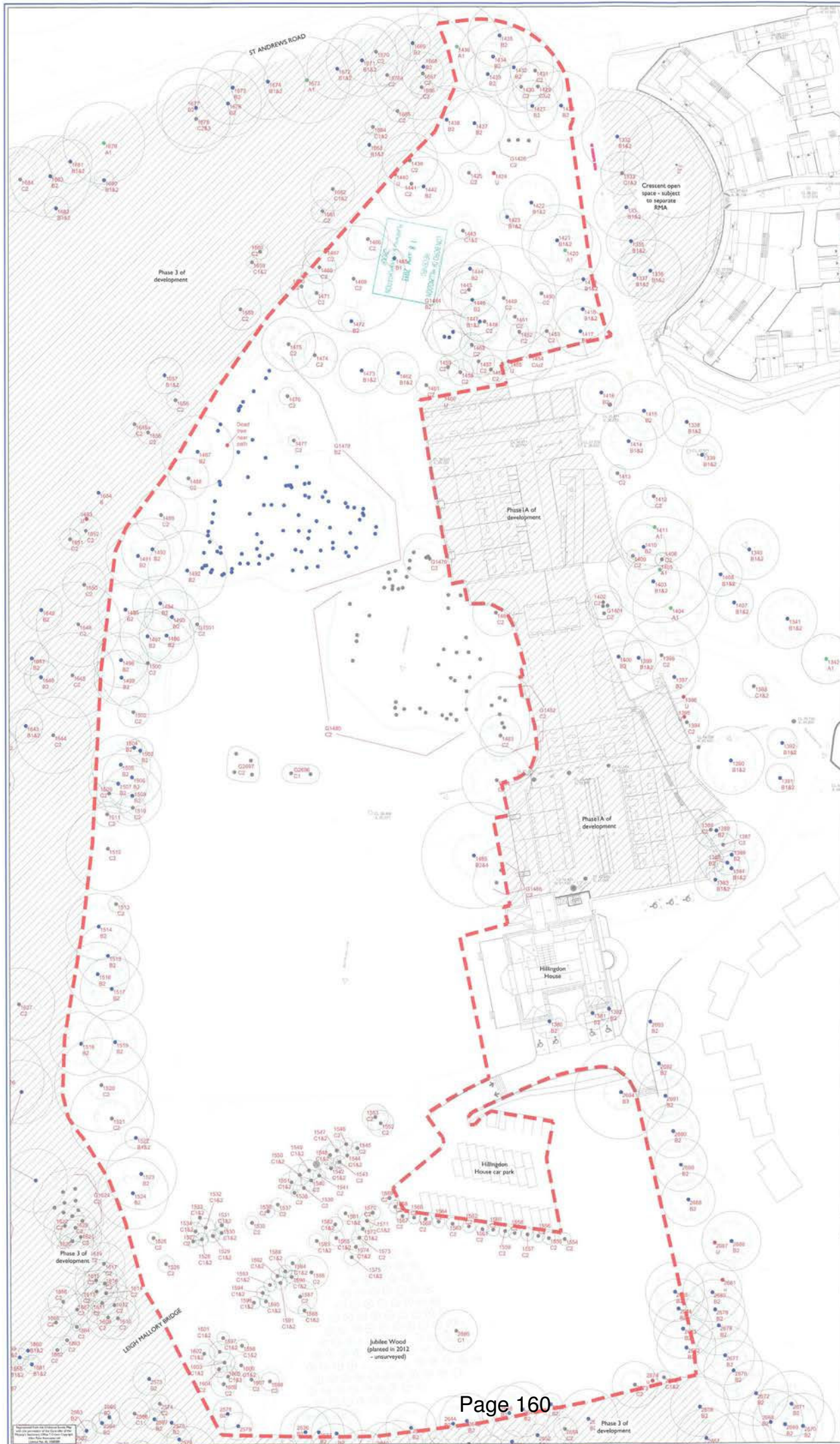
- Proposed works to Leigh Malory bridge will form part of Phase 3 (Western Park)
- INVASIVE SPECIES**  
Invasive species (Himalayan Balsam and Giant Hogweed) within the flood plain are being treated by specialist contractors with follow up visits throughout the growing season. This ongoing eradication programme will be implemented annually to ensure the park is clear of these species until such time as the park is handed over to LBH. Areas where invasive species are removed will be left to be colonised by existing native species present on site.
- DETAILED LIGHTING SPECIFICATION**  
Proposed galvanneal tubular steel column of 5m nominal height with post-top mounted zero degree inclination urbis sapphire 1 fit. glass luminaire of type 1, 6, 1770, 282, 28, 270, 27031, incorporating a Philips master coolwhite spotwax 45w/728lamp, 4730lumens, 2800k; ra 64 control gear to be electronic with stand-alone programmable and dimmable functionality and remote cut set to switch on and switch off at 20 lux. .dno service required' or similar approved

Rev	Description	Date	Drawn	Checked
C	Amendment to site, cycle rack and bollard locations. Please refer to revision notes.	25/07/13	BB	LB
B	Planting and specification and lighting specification added.	15/05/13	BB	VA
A	Approved landscaping programme, including bark path, timber edging, and bollard locations.	08/04/11	BB	LB

**PLANNING**  
**Allen Pyke Associates**  
Landscape architecture Urban design Environmental planning  
The Factory, 2 Acer Road, Kingston upon Thames, Surrey KT2 6EF  
T 020 8549 3434 F 020 8547 1075  
www.allenpyke.co.uk  
KINGSTON UPON THAMES • CAMBRIDGE

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VSM (UXBRIDGE) LTD	Scale: 1:500@A1
RAF UXBRIDGE DISTRICT PARK	BB/LL
PHASE 1 LANDSCAPE PROPOSALS	Date: 28/03/13
Revision C	



APN FILE REFERENCE

Notes  
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 Drawing number



NOTE  
 This survey is of a preliminary nature. The trees were inspected from the ground only on the basis of the Visual Tree Assessment method. No samples were taken for analysis. No deep detection equipment was employed. The survey does not guarantee the presence of trees. The survey is not intended to be used in conjunction with any other survey or to be used for any other purpose. Root Protection Areas (RPAs) are defined from each tree based on measured at 1.0 m above adjacent ground level (shown on drawing) or on the outline size of the tree canopy.

**Landmark Trees**

25 Brooklands Street, Sunbury, Surrey, UK  
 Tel: 01276 661 4644 Mobile: 01752 892628  
 Email: info@allenpykeassociates.co.uk Web: www.allenpykeassociates.co.uk

Site Location: August 2013

Drawing Title: Tree Constraints Plan

Category	Symbol	Category	Symbol
Category A High Quality	Blue circle	Open Wooded Area	Green hatched
Category B Moderate Quality	Red circle	Tree Number	Black line
Category C Low Quality	Black circle	Tree Protection Area	Red dashed line
Category U Trees Suitable for Retention	Red circle with dot	Tree Position	Black dot
		Tree Flattening	Black circle with slash
		Tree Removal	Black circle with cross

NOTE:  
 For tree schedule please refer to report 2152-RE-04

By: [Signature]	Date:	Drawn:	Checked:
<b>PLANNING</b>			
<b>Allen Pyke Associates</b>			
Landscape architecture Urban design Environmental planning			
The Factory, 2 Acre Road, Kingston upon Thames, Surrey KT2 6EF			
T 020 8549 3434 F 020 8547 1075 www.allenpyke.co.uk KINGSTON UPON THAMES • CAMBRIDGE			
Client: VSM (UXBRIDGE) LTD	Scale: 1:500@A1	Rev/Date	
Site: St Andrew's Park (Formerly RAF Uxbridge)	Rev/Date	Rev/Date	
Drawing Title: TREE CONSTRAINTS PLAN	Date: 25/03/13	Rev/Date	
Drawing Number: 2152-DP-TS-01	Revision: A	Rev/Date	



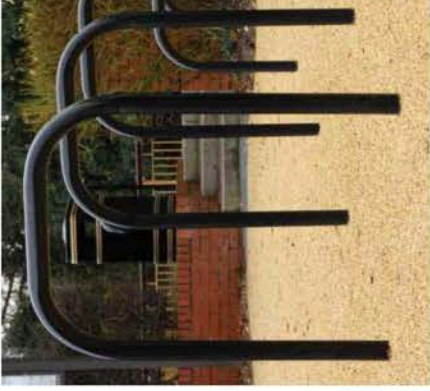
Litter Bin - Broxap Derby Standard steel litter bin, capacity 120 litres, with side opening door or similar approved



Dog bin - Broxap Sirius or similar approved



Bench Seat - Woodscape type 2 or similar approved



Cycle Stand - Broxap 'Sheffield' Cycle Stand or similar approved



Removable bollard - Broxap Manual Telescopic Post or similar approved

APAL FILE REFERENCE

This drawing is subject to copyright. Do not take from drawing.

A	Images updated inline with LBH comments	25/07/13	BB	LB
Rev	Description	Date	Drawn	Checked

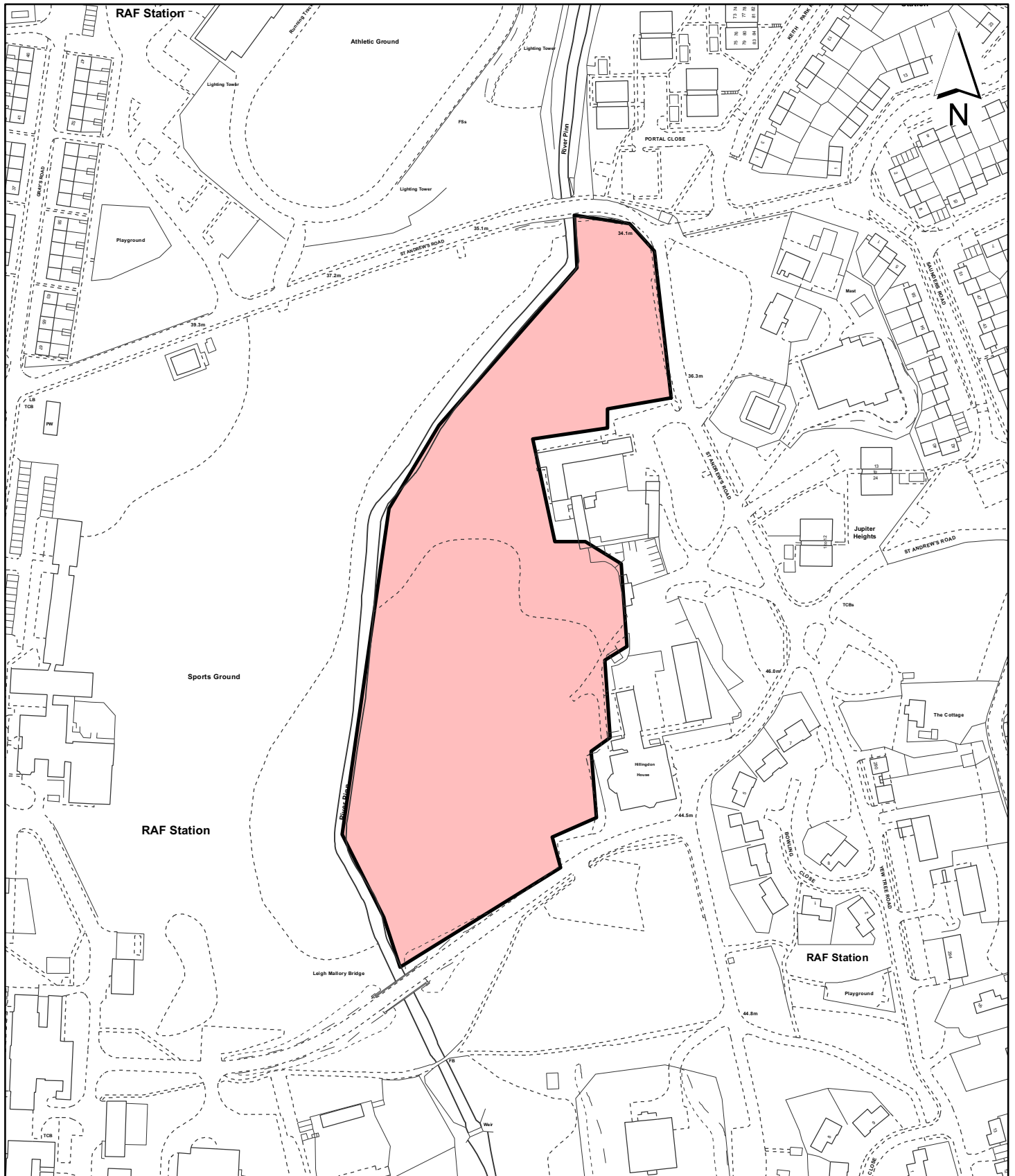
**Allen Pyke Associates**  
 Landscape Architecture Urban Design Environmental Planning  
 The Factory, 2 Acre Road,  
 Kingston upon Thames,  
 Surrey KT2 6EF  
 T 020 8549 3434 F 020 8547 1075  
 www.allenpyke.co.uk  
 KINGSTON UPON THAMES • CAMBRIDGE

A registered practice of the Landscape Institute


Client	YSM (Uxbridge) Ltd	Scale	N/A
Project	District Park - Phase 1	By/Asd	BBVR
Drawing Title	Street Furniture Images	Date	31/05/13

Drawing Number  
2152-IP-04

**NOTE**  
 To be read in conjunction with APAL drawing Phase 1 Landscape Proposals ref. 2152-DP-LA-01



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**Former RAF Uxbridge  
Hillingdon Road  
Uxbridge**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:  
**585/APP/2013/979**

Scale  
**1:2,500**

Planning Committee  
**Major Applications**

Date  
**May  
2013**





## Report of the Head of Planning, Sport and Green Spaces

**Address** PADCROFT WORKS TAVISTOCK ROAD YIEWSLEY

**Development:** Comprehensive redevelopment of site to provide three buildings of part 7 storeys and part 5 storeys comprising 208 residential units, 190 sq.m (approx) of Use Class B1 floorspace with associated public and private amenity space, hard and soft landscaping, lower ground floor parking for vehicles and bicycles and alterations to 9 High Street to form new pedestrian route (involving demolition of all existing buildings other than no.9 High Street)

**LBH Ref Nos:** 45200/APP/2012/3082

<b>Date Plans Received:</b>	11/12/2012	<b>Date(s) of Amendment(s):</b>	12/12/2012
<b>Date Application Valid:</b>	10/01/2013		12/07/2013
			30/05/2013
			09/01/2013

Copyright: Roife Judd Ltd  
 1. The Contractor must check and confirm all dimensions and levels before commencing work and report any discrepancies to the Architect before work commences.  
 2. This drawing is not to be scaled.  
 3. All work and materials to be in accordance with current Building Regulations and the relevant parts of all relevant Codes of Practice and British Standards.



- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4

15/07/13  
 Issued for Planning  
 Date

**Roife Judd**  
 Architects Planning Interiors  
 Old Church Court, Cavendish Road, The Oval, London SW8 9JZ  
 T 0207 7556 1200  
 www.roifejudd.co.uk

**Kitewood**  
 Project  
 Yiewsley, Tavistock Gardens

Drawing  
**Proposed Phasing Plan**  
 Scale 1:250 (A1)  
 Date Jul 13  
 Status Planning  
 Job Number 4468  
 Drawing Number T(20)P00-phase  
 Revision

NOTES  
 1 The Contractor must check and confirm all dimensions  
 2 All work must be carried out in accordance with the  
 3 This drawing is not to be used for any other purpose  
 4 This drawing is not to be used for any other purpose  
 5 This drawing is not to be used for any other purpose  
 6 This drawing is not to be used for any other purpose  
 7 This drawing is not to be used for any other purpose  
 8 This drawing is not to be used for any other purpose  
 9 This drawing is not to be used for any other purpose  
 10 This drawing is not to be used for any other purpose



PROVISIONAL ILLUSTRATION  
 THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSE  
 ALL DIMENSIONS ARE IN METERS  
 UNLESS OTHERWISE STATED  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 DATE: [Date]

**Rolf Judd**  
 Architects Planning Solutions  
 Old Church Court, Tavistock Road, The City, London WC1E 7HX  
 T 020 7558 1500  
 www.rolfjudd.co.uk

**Kitewood**  
 Viewley, Tavistock Gardens

Project: Viewley, Tavistock Gardens  
 Drawing: Proposed Ground Floor  
 Scale: 1:250 (A1)  
 Date: Dec12  
 Status: Planning  
 Job Number: 4468  
 Drawing Number: T(20)P00  
 Revision: C  
 Date: 12/12/2012

NOTES

1. The Contractor must check and confirm all dimensions and levels before commencing work and rework if the Architect's dimensions are not correct.
2. The drawing is not to be used for any other purpose without the written consent of the Architect.
3. This drawing is not to be used for any other purpose without the written consent of the Architect.
4. The drawing is not to be used for any other purpose without the written consent of the Architect.



**Lower Ground Floor Schedule**  
 198 parking spaces,  
 (including 21 for wheelchair users)  
 10 motorcycle spaces  
 292 bicycle spaces  
 (there are a further 16 at ground level for visitors)

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 209913  
 210013

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 Architecture Planning Interiors  
 Old Church Court, Chaylands Road, The Oval, London SW8 1NZ  
 T 020 7598 1500  
 www.rofle-judd.co.uk

**Kitewood**

Client  
 Project  
 Yiewsley, Tavistock Gardens  
 Drawing  
 Proposed  
 Lower Ground

Scale  
 1:250 (A1)  
 Job Number  
 4468  
 Date  
 Dec12  
 Drawing Number  
 T(20)P-1  
 Status  
 Planning  
 Revision  
 E

NOTES  
 1. The Contractor must check and confirm all dimensions and levels before commencing work.  
 2. All work must be carried out in accordance with the approved drawings and specifications.  
 3. The drawings are to be used as a guide only and do not constitute a contract.  
 4. The drawings are to be used in conjunction with the approved Bill of Materials and the company's standard terms and conditions of sale and the company's standard terms and conditions of service.  
 5. The drawings are to be used in conjunction with the approved Bill of Materials and the company's standard terms and conditions of service.



030513  
 01/12/12  
 Date

**Rolf Judd**  
 Architects Planning Solutions  
 Old Church Court, Chesham Road, The City, London W8R 1XZ  
 T 020 7558 1500  
 www.rolfjudd.co.uk

**Kitewood**  
 Project  
 Yiewsley, Tavistock Gardens

Drawing  
 Proposed  
 First Floor

Scale  
 1:250 (A1)

Date  
 Dec12

Drawn  
 Planning

Job Number  
 4468 T(20)P01

Revision  
 A

- NOTES
- 1. The Contractor must check and confirm all dimensions and levels before starting work.
  - 2. All work must be done in accordance with the British Standards and approved by the relevant authorities.
  - 3. This drawing is not to be used for any other purpose without the written consent of the architect.
  - 4. The drawings are the property of the architect and shall remain their property. The contractor shall return all drawings to the architect on completion of the works.



Approved for Planning  
 Date

**Rolf Judd**  
 Architects Planning Solutions  
 Old Church Court, Colchester Road, The Oke, London SW16 1LZ  
 T 020 7558 1500  
 www.rolfjudd.co.uk



**Kitewood**  
 Project  
 Viewley, Tavistock Gardens

Drawing  
 Proposed  
 Second Floor

Scale  
 1:250 (A1)

Date  
 Dec 2012

Job Number  
 4468

Drawing Number  
 T(20)P02

Revision  
 A



NOTES  
 1. The Contractor must check and confirm all dimensions  
 2. All work must be carried out in accordance with the  
 3. The drawings are to be used for construction purposes only  
 4. The drawings are to be used for construction purposes only  
 5. The drawings are to be used for construction purposes only  
 6. The drawings are to be used for construction purposes only  
 7. The drawings are to be used for construction purposes only  
 8. The drawings are to be used for construction purposes only  
 9. The drawings are to be used for construction purposes only  
 10. The drawings are to be used for construction purposes only



Approved for Planning  
 Date: 08/01/12

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 Architects Planning Solutions  
 Old Church Court, Chesham Road, The City, London W8R 1AZ  
 T 020 7058 1500  
 www.rolfjudd.co.uk

**Kitewood**  
 Viewley, Tavistock Gardens

Client: Viewley, Tavistock Gardens  
 Drawing: Proposed Third Floor  
 Scale: 1:250 (A1)  
 Date: Dec12  
 Job Number: 4468  
 Drawing Number: T(20)P03  
 Revision: A

- NOTES
- The Contractor must check and confirm all dimensions and areas on site and will be responsible for any discrepancies.
  - Architects to check all dimensions and areas on site and will be responsible for any discrepancies.
  - This drawing is not to be taken as a guarantee of the accuracy of the information contained herein. The Contractor shall verify the information with the relevant authorities and the company with all relevant Codes of Practice and British Standards.



Approved for Planning  
 Date: 01/12/12  
 020712

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 Architects Planning Solutions  
 Old Church Court, Cavendish Road, The Ochs, London NW4 1ZG  
 T 020 7058 1000  
 www.rolfjudd.co.uk

**Kitewood**  
 Project: Viewley, Tavistock Gardens

Drawing: Proposed Fourth Floor  
 Scale: 1:250 (A1)  
 Date: Dec12  
 Job Number: 4468  
 Drawing Number: T(20)P04  
 Revision: A



NOTES  
 1. The Contractor must check and confirm all dimensions and levels before construction.  
 2. All work must be carried out in accordance with the relevant British Standards.  
 3. This drawing is not to be used for any other purpose without the written consent of the Architect.  
 4. This drawing is not to be used for any other purpose without the written consent of the Architect.



Location for PV arrays  
 (type to be specified)

Approved for Planning  
 Date: 08/01/2012

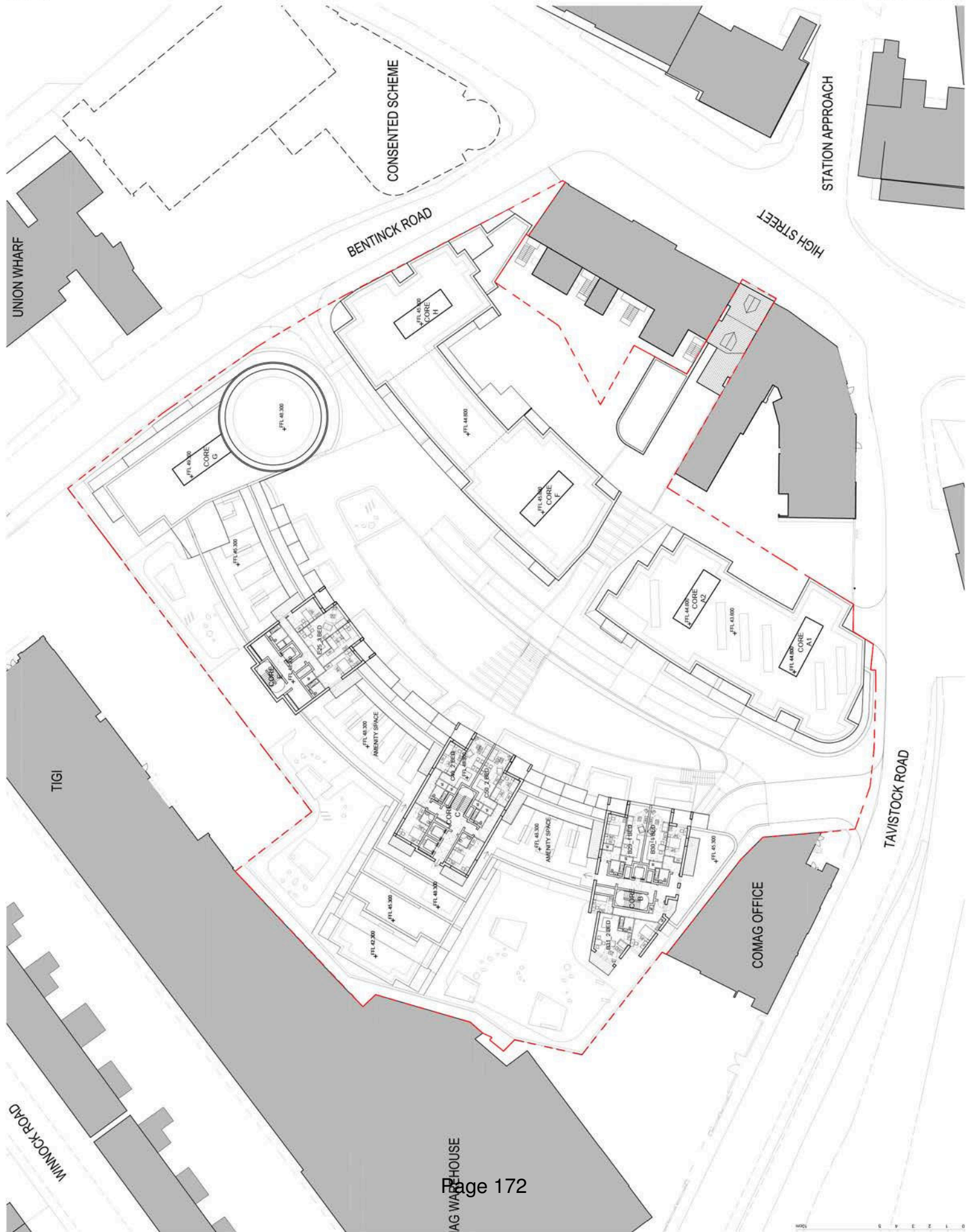
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 Old Church Court, Chesham Road, The City, London W8R 1AZ  
 T 020 7058 1500  
 www.rolfjudd.co.uk

**Kitewood**  
 Project: Viewley, Tavistock Gardens

Drawing: Proposed Fifth Floor  
 Scale: 1:250 (A1)  
 Date: Dec12  
 Drawing Number: 4468\_T(20)P05  
 Revision: A

NOTES

1. The Contractor must check and confirm all dimensions and levels before construction and will be responsible for any errors.
2. All work must be carried out in accordance with the relevant Building Regulations and to comply with all relevant Codes of Practice and British Standards.
3. This drawing is not to be used for any other purpose without the written consent of the Architect.
4. This drawing is not to be used for any other purpose without the written consent of the Architect.



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T 020 7058 1500  
www.roifjudd.co.uk

Client:  
**Kitewood**  
Viewley, Tavistock Gardens

Project:  
Viewley, Tavistock Gardens

Drawing:  
Proposed  
Sixth Floor

Scale:  
1:250 (A1)

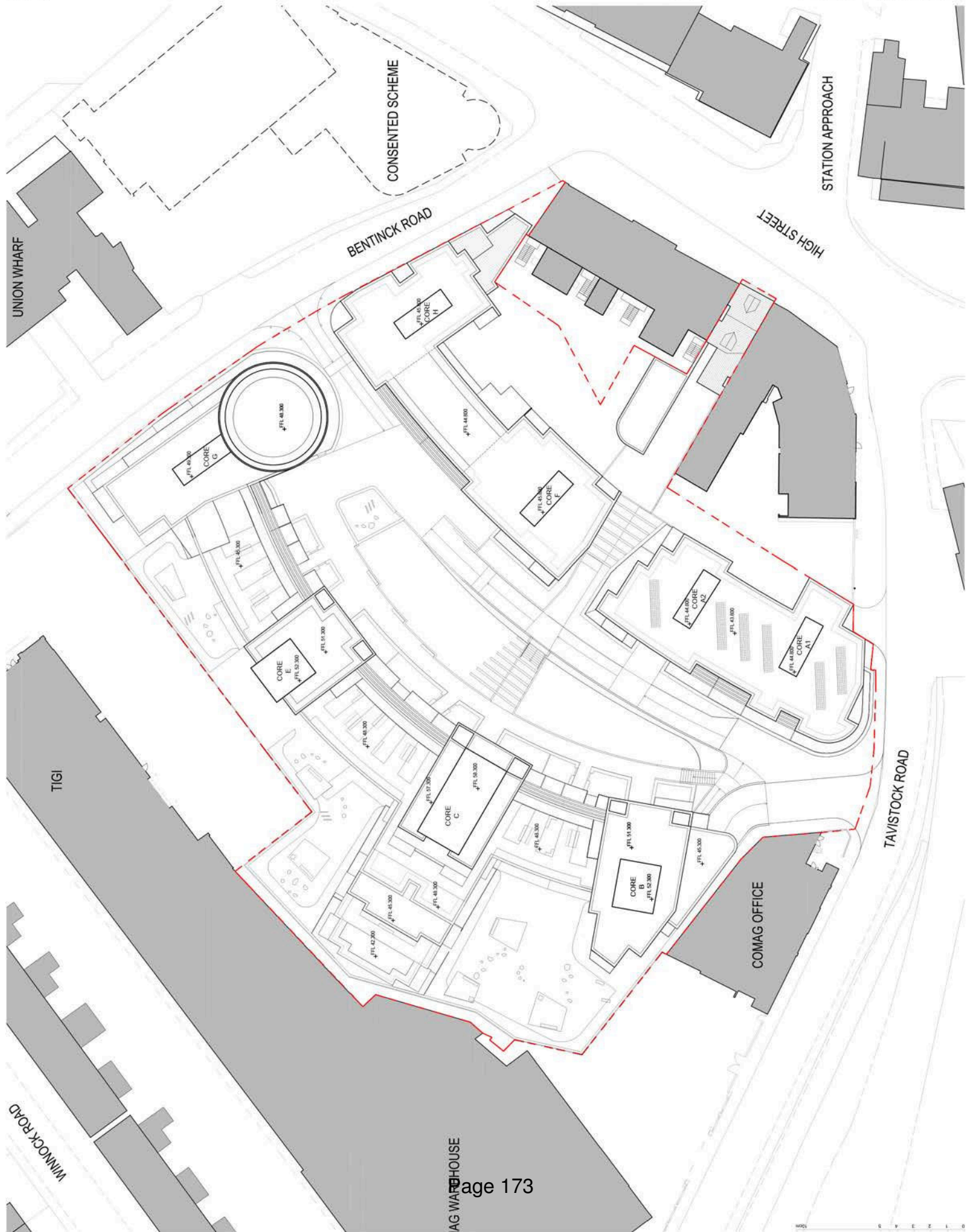
Date:  
Dec12

Stage:  
Planning

Job Number:  
4468 T(20)P06

Revision:  
A

NOTES  
 1. The Contractor must check and confirm all dimensions and levels before construction and will be responsible for any errors.  
 2. All work must be carried out in accordance with the relevant Building Regulations and all work must be approved by the relevant authorities.  
 3. This drawing is not to be used for any other purpose without the written consent of the Architect.  
 4. This drawing is not to be used for any other purpose without the written consent of the Architect.



Approved for Planning  
 Date: 09/12/12

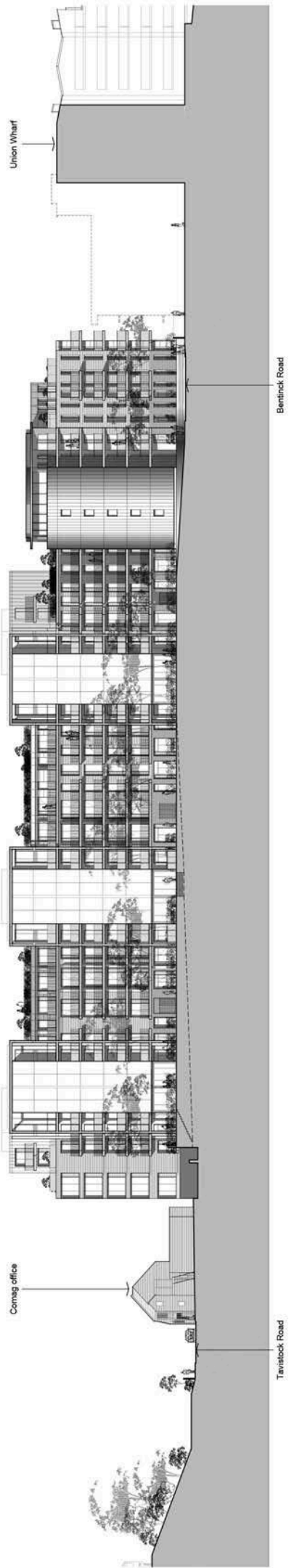
**Rolf Judd**  
 Architects Planning Solutions  
 Old Church Court, Colchester Road, The Oke, London SW18 1TZ  
 T 020 7058 1500  
 www.rolfjudd.co.uk

**Kitewood**  
 Project: Yiewsley, Tavistock Gardens

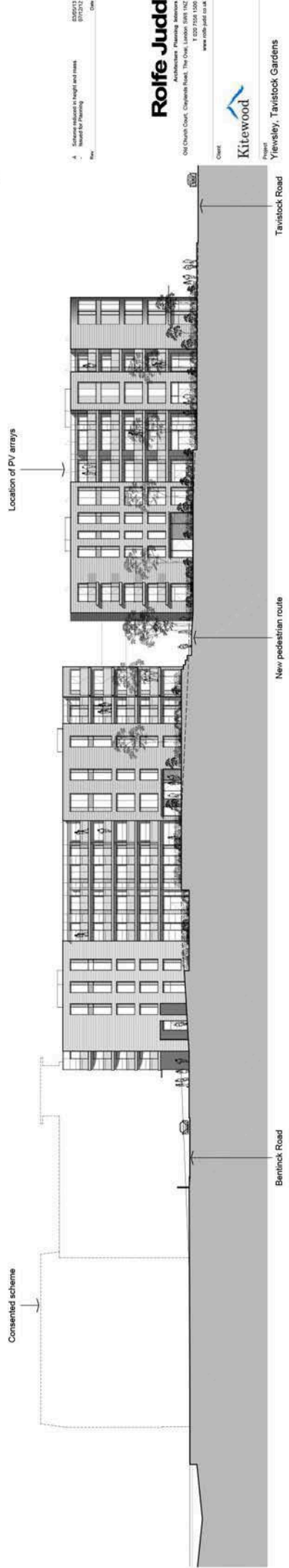
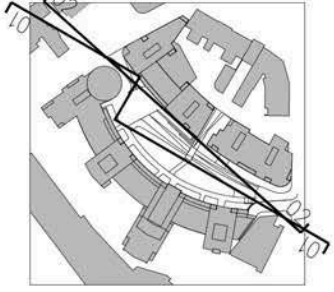
Drawing: Proposed Seventh Floor (Roof Plan)  
 Scale: 1:250 (A1)  
 Date: Dec 12  
 Job Number: 4468  
 Drawing Number: T(20)P07  
 Revision: A

NOTES

1. The Contractor must check and confirm all dimensions before construction.
2. All work must be carried out in accordance with the approved drawings.
3. The drawing is not to be used for any other purpose without the written consent of the Architect.
4. This drawing is not to be used for any other purpose without the written consent of the Architect.



01 ELEVATION NUMBER 1  
SCALE: 1:250 (A1)



02 ELEVATION NUMBER 2  
SCALE: 1:250 (A1)

A. Scheme subject to height and massing consent for planning.  
Rev: \_\_\_\_\_ Date: \_\_\_\_\_

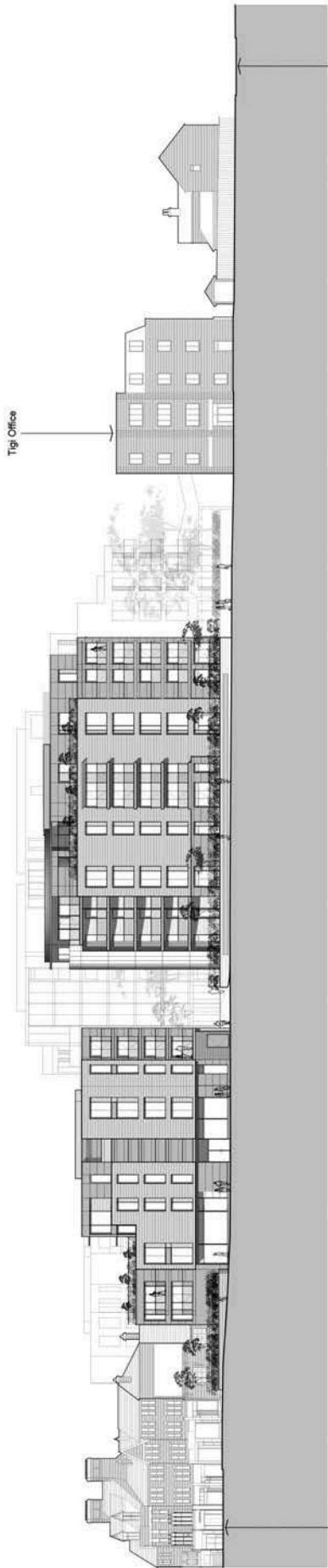
**Rolfe Judd**  
Architects Planning Solutions  
Old Church Court, Cavendish Road, The Oke, Linton, North Yorkshire YO21 2JQ  
T: 01534 505410  
www.rolfejudd.co.uk

Client:  
**Kitewood**  
Project:  
Yiewsley, Tavistock Gardens

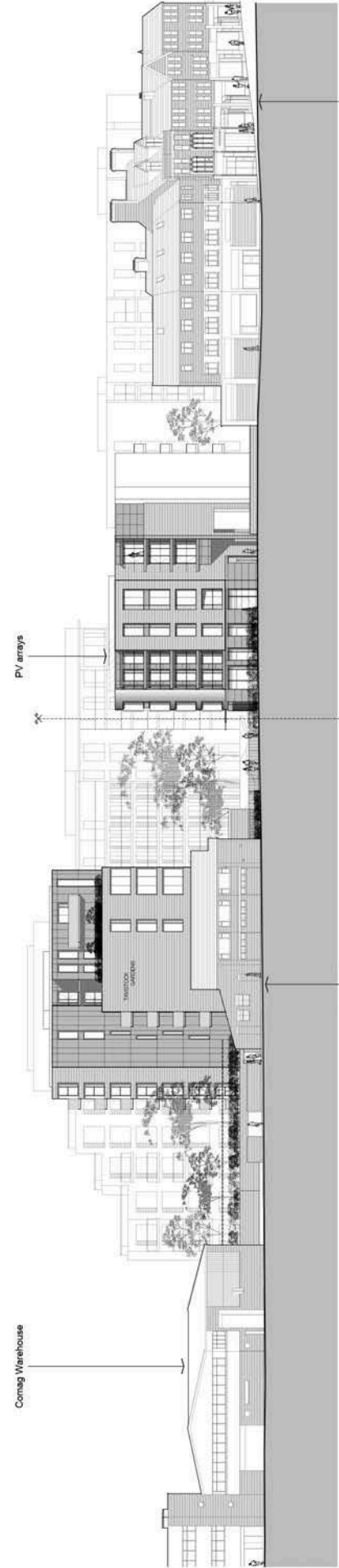
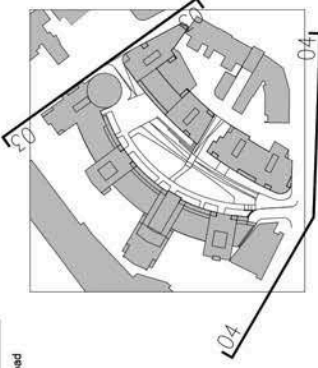
Drawing:  
Proposed Elevations 1 and 2  
Scale: 1:250 (A1) Date: Dec12  
Job Number: 4468 Drawing Number: T(20)E01  
Revision: A  
0:4468E01\_Rev01(20)2012

NOTES

1. The Contractor must check and confirm all dimensions
2. All dimensions are to be taken from the finished ground level unless otherwise stated and will be verified by the Architect before work commences
3. The drawing is not to be taken as a guarantee of any kind and the Contractor shall be responsible for obtaining all necessary planning, building and other approvals in accordance with the applicable statutory regulations and in conformity with all relevant Codes of Practice and British Standards.



High Street  
**03 ELEVATION NUMBER 3**  
 28-2020 SCALE: 1:250 (A1)



High Street  
**04 ELEVATION NUMBER 4**  
 28-2020 SCALE: 1:250 (A1)

A. Scheme subject to height and massing  
 issued for Planning  
 Rev: \_\_\_\_\_ Date: \_\_\_\_\_

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 Architects Planning Solutions  
 Old Church Court, Colchester Road, The Old Lion, LONDON E9W 1LZ  
 T 020 7058 1500  
 www.rolfejudd.co.uk

**Kitewood**  
 Project: Yiewsley, Tavistock Gardens

Client: \_\_\_\_\_  
 Drawing: \_\_\_\_\_  
 Proposed Elevations 3 and 4  
 Scale: 1:250 (A1) Date: Dec12  
 Status: Planning  
 Job Number: 4468 Drawing Number: T(20)E02  
 Revision: A  
 03/08/2012\_12:00:00

NOTES

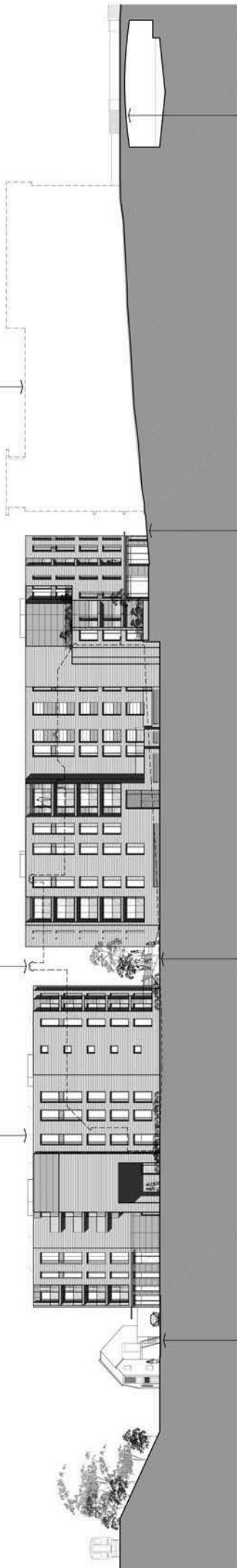
1. The Contractor must check and confirm all dimensions.
2. All work must be carried out in accordance with the approved drawings and will be inspected by the Architect before work commences.
3. This drawing is not to be used for any other purpose without the written consent of the Architect.
4. All work must be carried out in accordance with the relevant British Standards and to comply with all relevant Codes of Practice and British Standards.

Consented Scheme

Outline of High Street properties

PV arrays

Consented Scheme



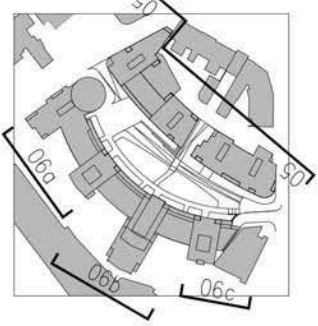
Tavistock Road

New Pedestrian Route

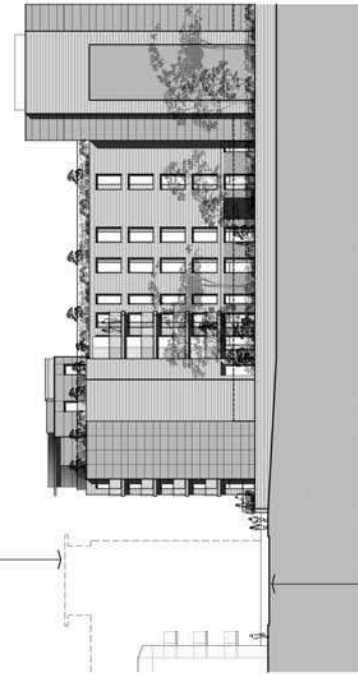
Benlittick Road

Colham Bridge

05 ELEVATION NUMBER 5  
06-2809 SCALE: 1:250 (A1)

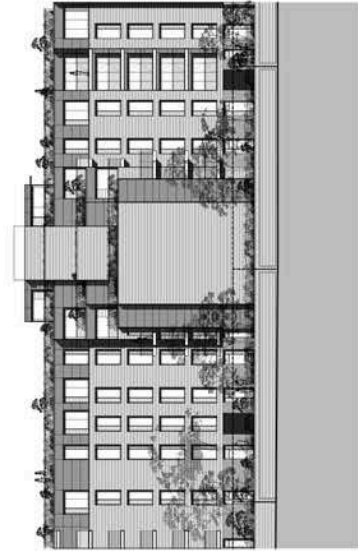


Consented Scheme

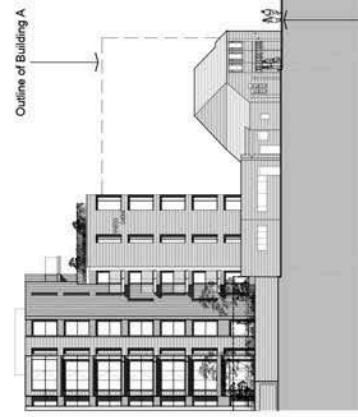


Benlittick Road

06 ELEVATION NUMBER 6A  
06-2809 SCALE: 1:250 (A1)



07 ELEVATION NUMBER 6B  
06-2809 SCALE: 1:250 (A1)



Outline of Building A

Tavistock Road

08 ELEVATION NUMBER 6C  
06-2809 SCALE: 1:250 (A1)

A. Scheme subject to height and levels  
 Approved for Planning  
 Rev: \_\_\_\_\_ Date: \_\_\_\_\_

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 Architects' Planning Solutions  
 Old Church Court, Colchester Road, The Oke, London E9 6JZ  
 T 020 7508 1506  
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**Kitewood**

Project: Yiewsley, Tavistock Gardens

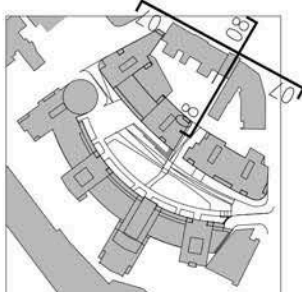
Proposed Elevations 5 and 6  
 Scale: 1:250 (A1) Date: Dec12  
 Job Number: 4468 Drawing Number: T(20)E03  
 Revision: A  
06-2809\_1\_Rev01/20120203

NOTES

1. The Contractor must check and confirm all dimensions before construction.
2. All work must be carried out in accordance with the relevant Building Regulations and approved by the Building Control Authority.
3. The drawing is not to be used for any other purpose without the written consent of the Architect.
4. The drawing is not to be used for any other purpose without the written consent of the Architect.



**07 ELEVATION NUMBER 7**  
SCALE: 1:250 (A1)



Project: 2024/01/01  
 Date: 01/12/24  
 Rev: 1

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 Architects Planning Solutions  
 Old Church Court, Colchester Road, The Oke, London, E9 6JZ  
 T: 020 7358 1500  
 www.rolfjudd.co.uk

**Kitewood**  
 Project: Yiewsley, Tavistock Gardens

Proposed Elevations 7, 8 and 9  
 Scale: 1:100/250(A1) Dec12 Planning  
 Job Number: 4468 T(20)E04  
 Revision: B

Consented Scheme

Bentrick Road

No. 9 High Street

Tavistock Road

Railway Bridge

Colham Bridge

Consented Scheme

Outline of Proposed Scheme

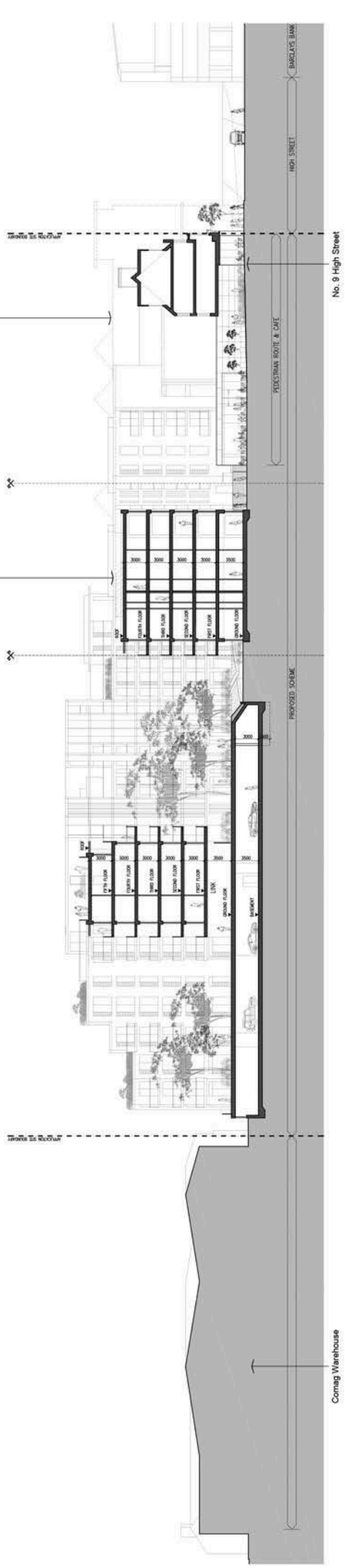
Consented Scheme

Existing rear extensions

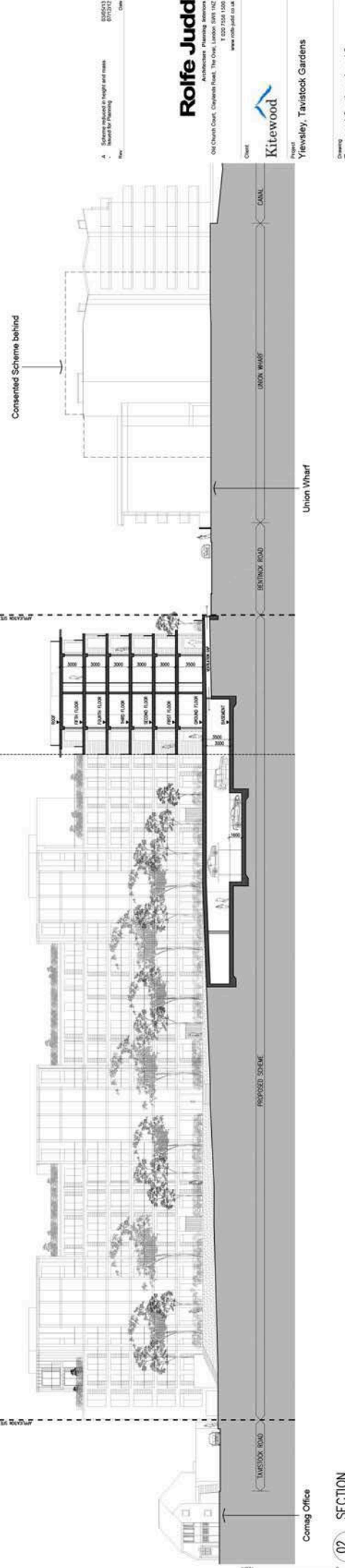
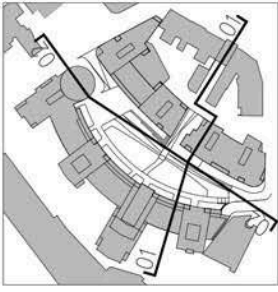
**09 ELEVATION NUMBER 9**  
SCALE: 1:100 (A1)

**08 ELEVATION NUMBER 8 DETAIL**  
SCALE: 1:100 (A1)

Compendium 001416  
 The Contractor must check and confirm all dimensions  
 and levels before construction and will be responsible for the  
 accuracy of all dimensions and levels.  
 The drawing is not to be used for construction without the  
 approval of the Architect and the Contractor. It is the  
 responsibility of the Contractor to ensure that the work complies with all  
 relevant Codes of Practice and British Standards.



01 SECTION  
 SCALE 1:250 (A1)



02 SECTION  
 SCALE 1:250 (A1)

Roife Judd  
 Architects + Planning Solutions  
 Old Church Court, Tavistock Road, The Oke, Looe, Cornwall PL28 7LZ  
 T 020 7508 1500  
 www.roifejudd.co.uk

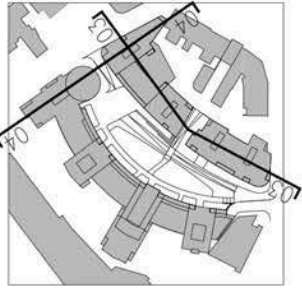
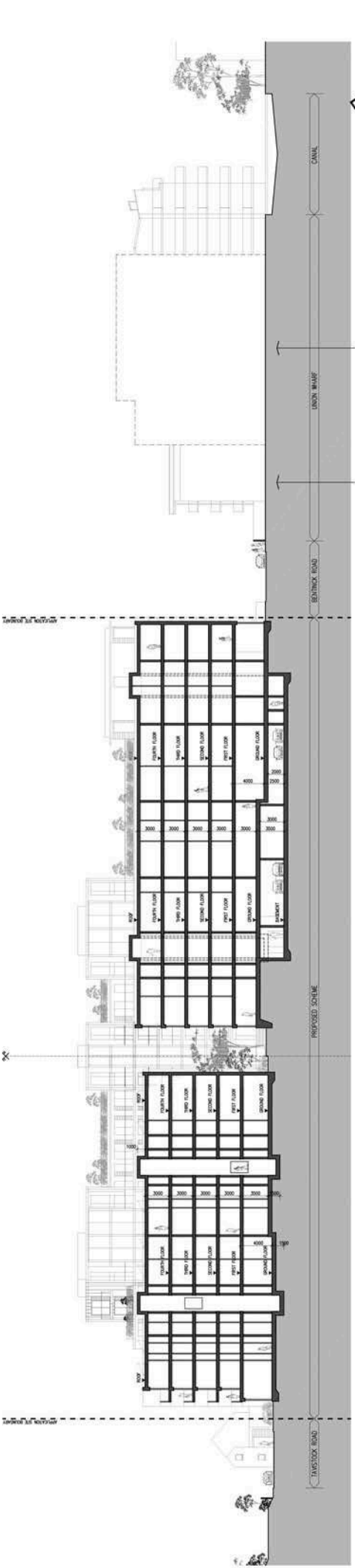
Kitewood  
 Project  
 Yiewsley, Tavistock Gardens

Consent  
 Proposed Sections 1 and 2

Scale 1:250 (A1)  
 Date Dec12  
 Status Planning  
 Job Number Drawing Number  
 4468 T(20)S01  
 Revision A

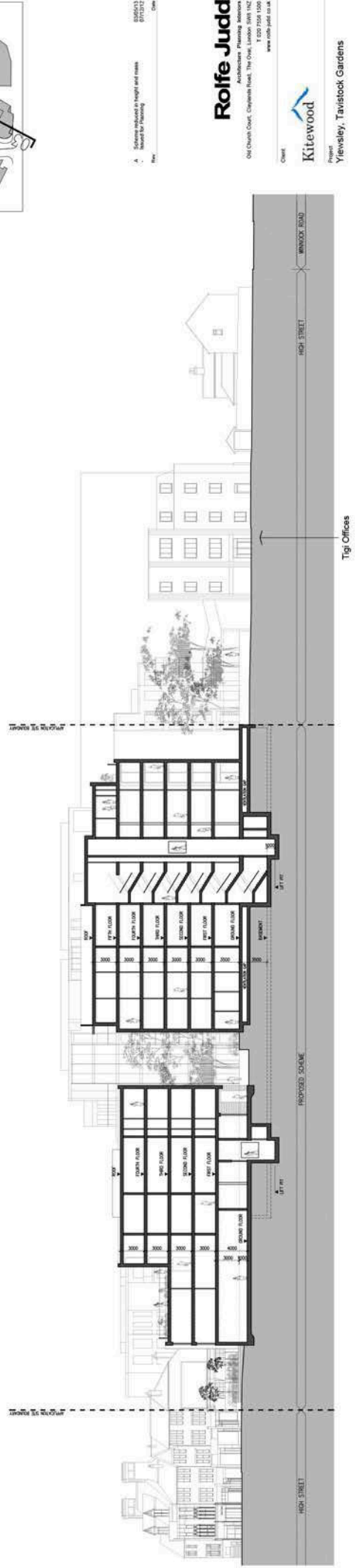


Compendium 001416  
 The Contractor must check and confirm all dimensions  
 and levels before construction and will be responsible for the  
 accuracy of all dimensions and levels.  
 This drawing is not to be used  
 for any other purpose without the written consent of the  
 Architect. It is to be used in conjunction with the  
 approved Statutory Approvals and to comply with all  
 relevant Codes of Practice and British Standards.



Consented scheme  
 Union Wharf

03 SECTION  
 SCALE: 1:250 (A1)



TgJ Offices

04 SECTION  
 SCALE: 1:250 (A1)

A. Scheme subject to height and mass  
 issued for planning  
 Ref: 03/0013  
 01/12/12

**Rolfe Judd**  
 Architects' Planning Solutions  
 Old Church Court, Tavistock Road, The City, London WC1E 7HX  
 T 020 7538 1500  
 www.rolfe-judd.co.uk

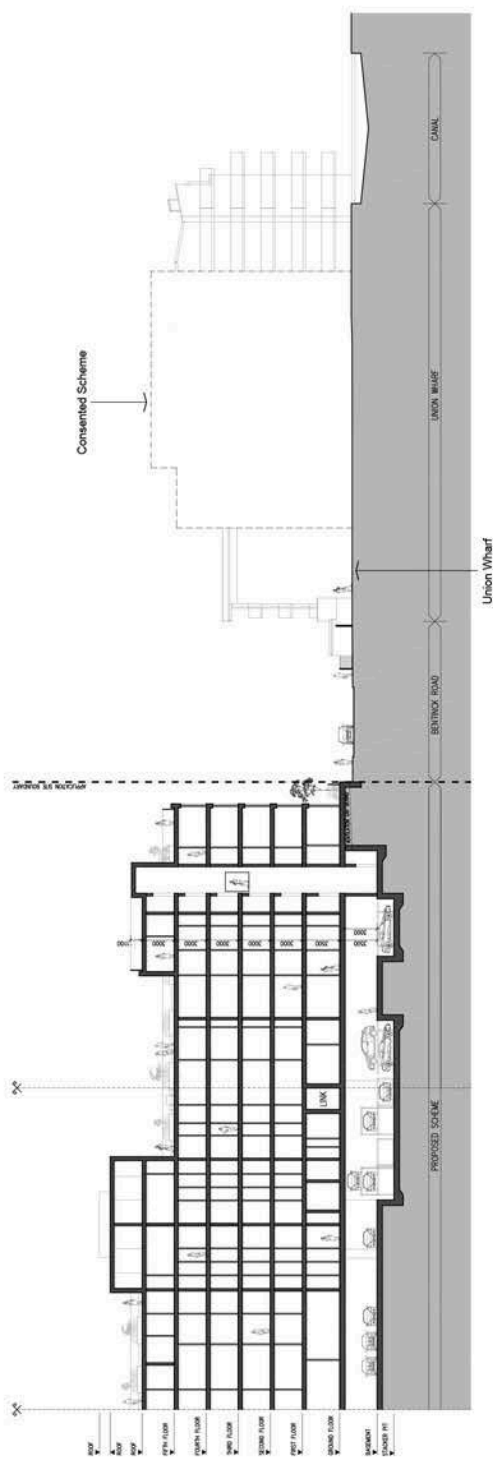
**Kitewood**  
 Project  
 Yewley, Tavistock Gardens

Drawing  
 Proposed Sections 3 and 4

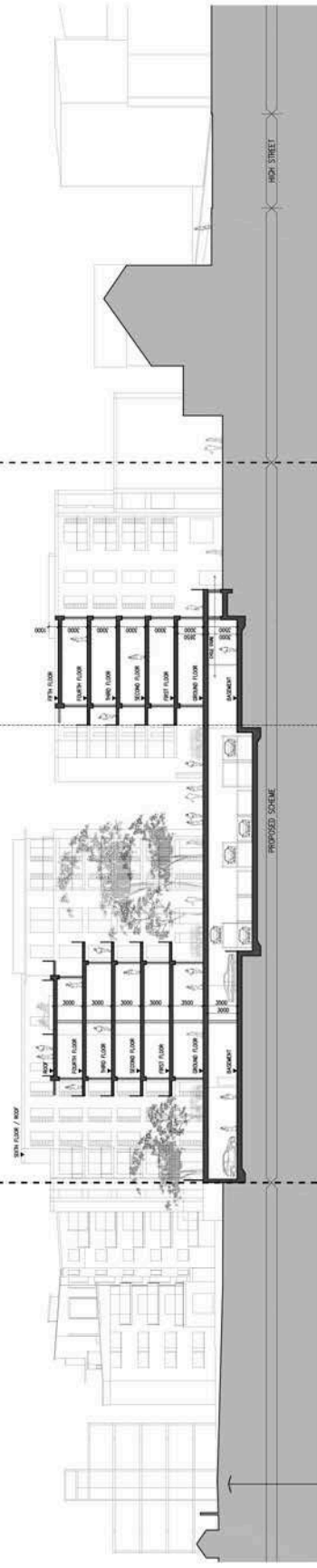
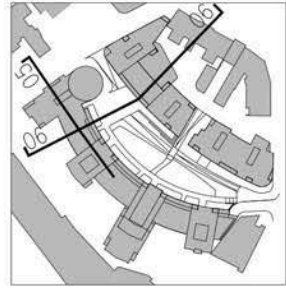
Scale: 1:250 (A1)  
 Date: Dec12  
 Job Number: 4468  
 Drawing Number: T(20)S02  
 Revision: A  
 03/0013\_01/12/12

NOTES

1. The Contractor must check and confirm all dimensions
2. All work must be carried out in accordance with the Building Regulations and approved by the Authority before work commences
3. The drawing is not to be used
4. This drawing is not to be used for any other purpose without the written consent of the Architect. The Architect's liability is limited to the design and construction of the building and to comply with all relevant Codes of Practice and British Standards.



05 SECTION  
SCALE: 1:250 (A1)



06 SECTION  
SCALE: 1:250 (A1)

Roife Judd  
Architects Planning Sections  
Old Church Court, Cornhill Road, The City, London EC4A 3DF  
T 020 7308 1300  
www.roifejudd.co.uk

Kitewood  
Project  
Vieweley, Tavistock Gardens

Client

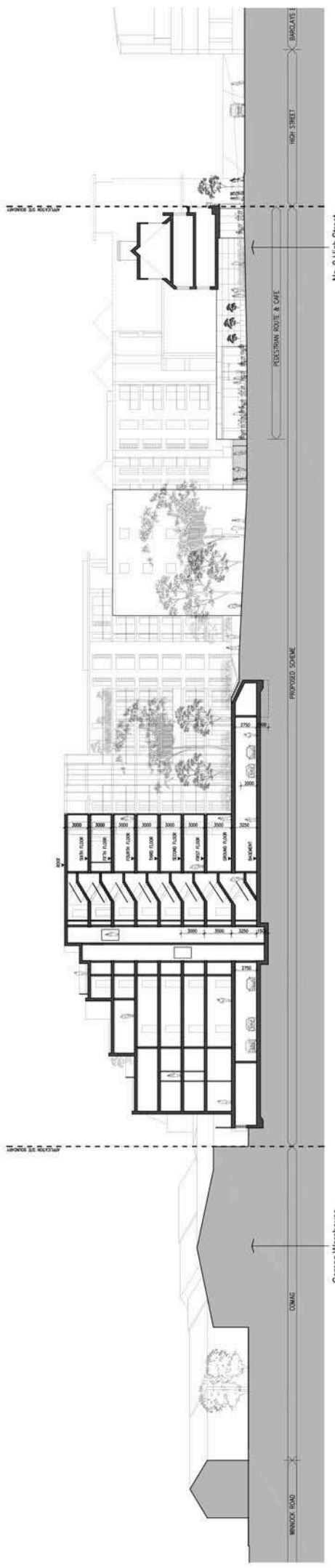
05/14/12  
07/12/12

Approved for Planning

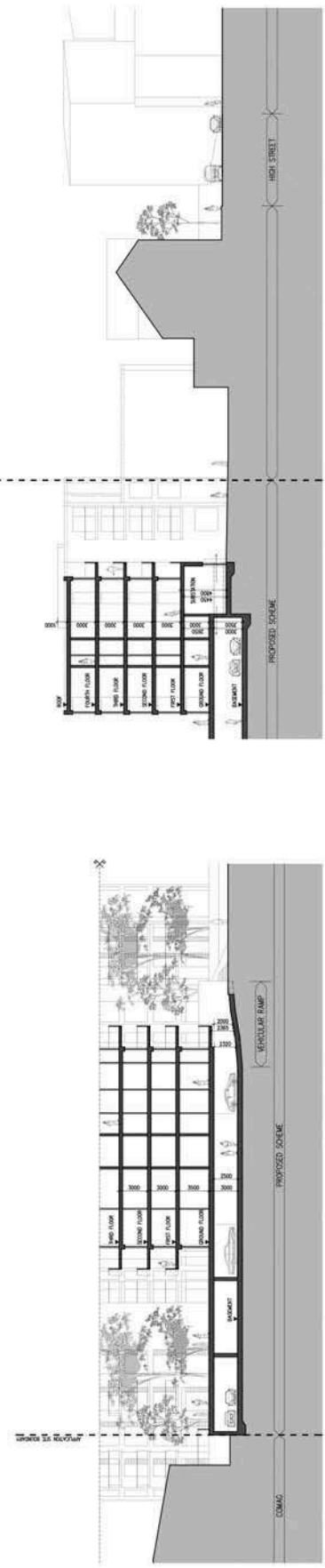
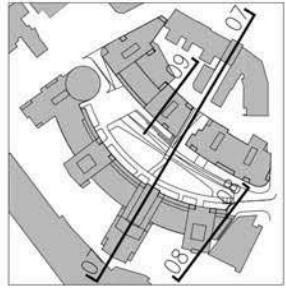
Proposed Sections 5 and 6

Scale: 1:250 (A1) Date: Dec12 Status: Planning  
Job Number: 4468 Drawing Number: T(20)S03 Revision: A  
0:1448977\_1.dwg 12/12/2012

- NOTES
1. The Contractor must check and confirm all dimensions before construction.
  2. All work must be carried out in accordance with the Building Regulations and approved by the Authority before work commences.
  3. The drawing is not to be taken as a guarantee of any kind.
  4. The drawing is not to be taken as a guarantee of any kind.
- Approved by the Local Planning Authority and in compliance with the relevant Codes of Practice and British Standards.



07 SECTION  
SCALE 1:250 (A1)



08 SECTION  
SCALE 1:250 (A1)

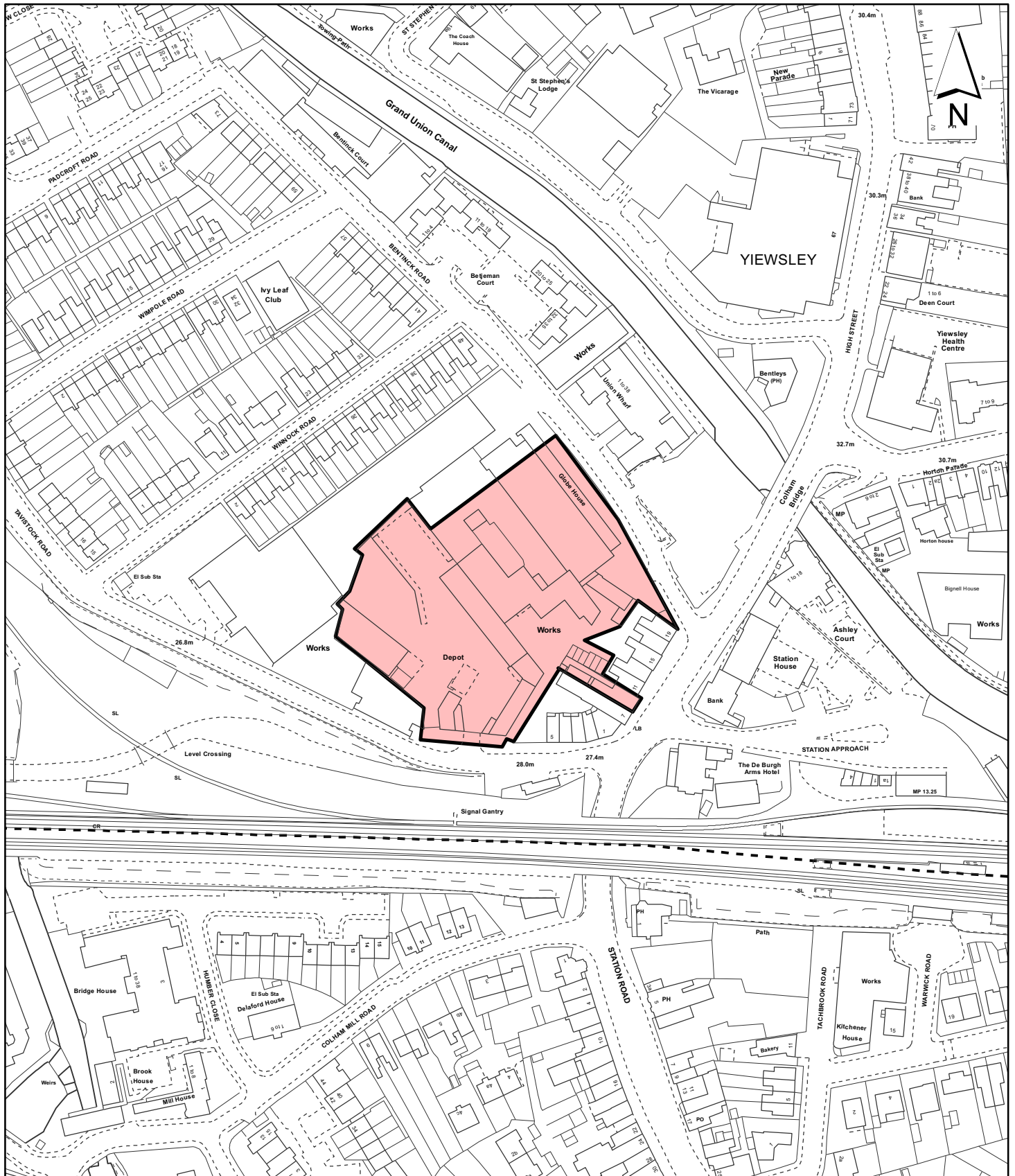
A. Sections subject to height and mass  
issued for Planning  
Rev: \_\_\_\_\_ Date: \_\_\_\_\_

**Rolfe Judd**  
Architects Planning Solutions  
Old Church Court, Chislehurst Road, The Oyle, London SW16 1JZ  
T 020 7058 1506  
www.rolfejudd.co.uk


**Kitewood**  
Project  
Vieweley, Tavistock Gardens

Drawing  
Proposed Sections 7, 8 and 9

Scale 1:250 (A1) Date Dec12 Planning  
Job Number Drawing Number  
4468 T(20)S04  
Revision A



**Notes**

 Site boundary

For identification purposes only.

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Site Address	
<b>Former Padcroft Works Tavistock Road Yiewsley</b>	
Planning Application Ref:	Scale
<b>45200/APP/2012/3082</b>	<b>1:2,000</b>
Planning Committee	Date
<b>Major Applications</b>	<b>July 2013</b>

**LONDON BOROUGH  
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**Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
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